



Design Guidelines

Revised May 2014

April 4, 2014

Dear Singletree Property Owner,

Welcome to Singletree!

You may be considering designing a new home, adding to or remodeling your existing home, or improving the landscape surrounding your home in Singletree. This can be an exciting and fulfilling process. The Design Review Guidelines (the Guidelines), the existing Amended and Restated Declaration of Covenants, Conditions and Restrictions (which can be found on the SPOA website), and the Design Review Committee (DRC) of Singletree provide a road map to assist you in the process.

Some of the requirements are quite technical and others are designed to promote quality designs that insure a sustainability of construction that will maintain a high quality appearance and incorporate current trends, which are harmonious within the community, as well as minimize the disruption to your neighbors.

It is important that you, your architect and contractor **read the Guidelines very carefully** before committing funds to any project. The DRC suggests that you should consider the following as you begin the process:

- Obtain a licensed survey to determine the allowable square footage for lot coverage and allowable habitable square footage, the location of required setbacks and the original lot slope or grade. If a remodel or addition is involved, confirm that the changes proposed will assure continued compliance with all limitations set forth in the Guidelines.
- Prepare a set of conceptual/sketch design drawings that will provide a clear depiction of your proposed exterior design for the structure, through building elevations and how they will be situated on the site plan. Include in the drawings the approximate location of the driveway, parking and a general description of proposed exterior materials. The DRC will review the conceptual design with a view towards granting general approval to the proposed design before you spend substantial funds on detailed drawings. Particular attention to the grading, site location, massing and adjacent homes is strongly suggested. See Sections 2.1 through 2.6 of the Guidelines.
- For a remodel or addition to a duplex, you must obtain a signed consent form from your duplex neighbor using the form found in Section 10-Appendix D. This form is required at the first plan presentation and again at final approval.
- DRC meetings are held the 1st and 3rd Thursdays of the month at the Singletree Community Center. Please submit your conceptual drawings and/or other necessary documentation to the Architectural Consultant by the Thursday prior to the date you are scheduled for presentation to the DRC. Timely submissions give the DRC the opportunity to understand and evaluate the information presented, which is intended to speed up the process and save you both time and money.

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- Once conceptual approval has been granted, the detailed plans required for the preliminary and final approvals can be prepared and submitted. Design Review Checklists are provided in Section 9 of the Guidelines.
- Upon final approval, you and your contractor will be required to sign the Compliance Acknowledgement statement in Section 10-Appendix C, acknowledging your obligations and responsibilities throughout the construction process.

These suggestions are designed to get you started and hopefully avoid spending substantial funds and time dealing with costly plan revisions. Please note that any alterations in approved plans before, during, and after construction must be resubmitted for additional approvals.

We look forward to working with you to realize your vision for your property. We are your neighbors, working together to make Singletree a premier home community here in Eagle County.

Sincerely,

Singletree Design Review Committee

Singletree Property Owners Association

SINGLETREE DESIGN REVIEW GUIDELINES
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Section 1. The Singletree Philosophy

1.1 DESIGN PHILOSOPHY

Located in the Upper Eagle River Valley, the Singletree community enjoys the best of Colorado Rocky Mountain living. With a mild climate, spectacular views, an eighteen-hole Championship Golf Course, and other recreational amenities, Singletree offers a diverse and unique community. It is the obligation of every Singletree resident to preserve and enhance the natural environment so that the enjoyment of Singletree may be shared by property owners and visitors for years to come.

From the beginning of the development, and as Singletree has evolved, the owners and their consultants have sought to apply planning and design principles which take advantage of the unique characteristics of each site. The design philosophy of Singletree is to create a harmonious relationship between architecture and landscape, on both an individual and an overall level.

1.2 INTENT OF THE GUIDELINES

The intent of the Singletree Design Guidelines is to encourage individual expression of the Singletree design philosophy by providing an outline of basic and simple criteria for good design. It is not meant to overwhelm you with information, but, rather, to be as specific, realistic - and helpful - as possible.

The natural environment at Singletree is very special and will more than repay efforts to preserve it. The terrain is dramatic, the views spectacular, the air invigorating, and the sunlight bright. But, as those familiar with the Upper Eagle River Valley are well aware, conditions in the high mountains are different from life on the coast, on the plains, or in the East. So, to help property owners make the most of their unique opportunities, we include in these Design Guidelines a number of requirements and suggested responses to the particular physical conditions that prevail at the site.

Further, the growing density of homes at Singletree adds another dimension to design considerations; the integration of the built-out community into the landscape. Following these guidelines will preserve the overall design integrity of Singletree and its fragile mountain environment.

1.3 THE DESIGN PROCESS

Designing a home should be an exciting and rewarding process for owners and their design teams. The role of the Singletree Design Review Committee, (sometimes referred to as the "DRC"), is to guide you toward the design goals which have been established for the community.

Your design team should have a thorough understanding of your lot, the Singletree Design Guidelines, and your own needs. From that basis, they can develop with you a design solution which satisfies all of these requirements. They will be required to communicate your concepts and ideas to the DRC through drawings and a model. For these reasons, the DRC strongly recommends that you retain a competent Architect who is experienced in dealing with design issues peculiar to the environment at Singletree.

1.4 DESIGN REVIEW COMMITTEE

1.4.1 Authority of the Design Review Committee

The Covenants provide for the establishment of a Design Review Committee to adopt written Design Guidelines. The Guidelines are to be a more specific interpretation of the Covenants' provisions which can then be used by the DRC to implement Singletree's design philosophy.

These Design Guidelines may, from time to time, be amended by a majority of the DRC, subject to the approval of the Singletree Property Owners Association. ("SPOA"). Prospective owners and builders are advised to contact the DRC to obtain the most current copy of the Guidelines.

1.4.2 The Design Review Committee

A group of five persons shall be responsible for the administration of the Design Guidelines.

1.4.3 Selection of DRC Members

Members, all of whom must be resident Owners, are appointed by the Board of Directors of SPOA and serve for a three (3) year term. Any member of the DRC shall be permitted to serve successive terms.

1.4.4 Attendance

Input from committee members is vital to the success of the design review process. A member may be removed by the DRC for failure to perform his or her duties. A new member will then be appointed to serve the remainder of the current term.

1.4.5 Committee Procedure

It is inherent that procedures and standards are subject to interpretation. The DRC will use its best judgment in making its interpretations in the best interest of Singletree.

Minutes of the projects discussed and actions taken by the DRC shall be maintained and posted to the SPOA website for access by all homeowners, once approved at the subsequent DRC meeting.

In the case of a decision by the DRC to deny approval of a project, the DRC will inform the owner (or their representative) at the meeting where such decision is made, if present, and by written notification, sent by either registered or certified mail, postage pre-paid in the name of the owner at the registered mailing address.

Such DRC determinations may be appealed to the SPOA Board. The owner must make a written request to appeal the decision of the DRC within twenty (20) days of the date of mailing the written notification of the Committee's decision. Any such appeal is to be considered by the SPOA Board at the next regularly scheduled meeting of the board, provided that written notice of such appeal is received by the board seven (7) days prior to such meeting.

Failure to initiate an appeal within twenty (20) days of the date of the written notice of denial shall terminate any rights of appeal.

1.4.6 Code Compliance

Compliance with Eagle County codes and regulations is beyond the jurisdiction of the DRC. Similarly, County approval of a project **does not** constitute compliance with Singletree Covenants or Design Guidelines. **Both** approvals must be obtained by the owner before the start of construction.

1.4.7 Nonconforming Conditions

A building, structure or landscaping which does not conform to these Design Guidelines, but which was constructed or installed with the approval of the DRC may be continued, except as provided herein. Such nonconforming conditions shall not be extended or expanded or altered to a different nonconforming condition. If a nonconforming condition is damaged or destroyed to the extent of more than fifty percent of its value, it shall be rebuilt or restored as a conforming condition. Notwithstanding any other provision of this section or these Design Guidelines, all designs must conform to these Design Guidelines.

These guidelines shall be applicable to non-conforming conditions on any modification, change or remodel. For example:

1. Screening of utility meters.
2. Landscaping.
3. Galvanized material to be concealed and /or painted out.
4. Down lights (down directed lighting)
5. Chimney caps
6. Trash enclosures

1.4.8 Enforcement

If any person shall violate or threaten to violate any of the provisions of these Design Guidelines, it shall be lawful for the Berry Creek Metropolitan District and/or SPOA, or any entity, person or persons owning real property in Singletree, to institute proceedings at law or in equity to enforce the provisions of the Covenants or these Design Guidelines, to restrain the person violating or threatening to violate them, and to recover damages, actual and punitive, together with reasonable attorneys' fees, for such violations.

Section 2. Architectural Design Rules and Standards

2.1 SITE COVERAGE AND DENSITY

Allowable Site Coverage and Habitable area are discussed in the Covenants. Refer to this document for this information. Definitions of these terms are as follows:

Site Coverage is defined as that part of the site covered by buildings only, including garage. It does not include such items as decks, terraces, roof overhangs, driveways, walks, or other impervious materials. **Site coverage may not exceed 25% of the lot acreage.**

In siting your home you should first contact the Wildfire Mitigation Manager at Eagle County Community Development to determine the Wildfire Hazard rating for your property ie: Low, Moderate or High. This will assist you in selecting the proper exterior construction materials and landscaping.

Habitable Area shall include all enclosed space except garages and mechanical rooms. Habitable Area shall be measured from the outside faces of exterior walls. Stairwells, including landings, shall be measured at 100% at the lowest floor level, and at 50% at all other floor levels. Habitable Area shall include all space with a ceiling height of 5 feet or greater, measured from the finished or unfinished floor to the underside of the structural members of the floor or roof structure above. Dropped ceilings, soffits, and the like shall not be considered in calculating ceiling height. Any such areas having a ceiling height of 5' or less shall be clearly denoted on the plans. **Habitable area may not exceed 25% of the lot acreage.**

2.2 BUILDING HEIGHT

No structure located on a single family, duplex, or multi-family lot shall exceed, at any point on the structure, thirty five feet in height or 3 stories, whichever is less.

Building height shall be measured vertically from any point on original or finished grade, (whichever is more restrictive), to the top of the building's roof structure directly above that point.

The dimension of the building's maximum height is to be clearly labeled on the elevations. The building height dimension calculated from the most restrictive grade shall be clearly indicated on the preliminary and final approved plans that are retained by the DRC.

2.3 SETBACKS

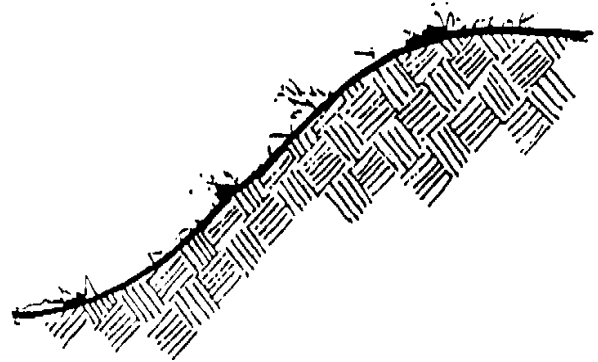
No part of the building may go into the setbacks. This includes roof overhangs, constructed site work, decks, terraces, patios, fences, parking areas and vehicle turn around facilities. **Minimum setbacks for the location of structures with relation to property lines shall be the greater of 25 feet from the road right-of-way or 12 feet 6 inches from the road easement, 15 feet from the rear property line and 12 feet 6 inches from side property lines.**

2.4 GRADING

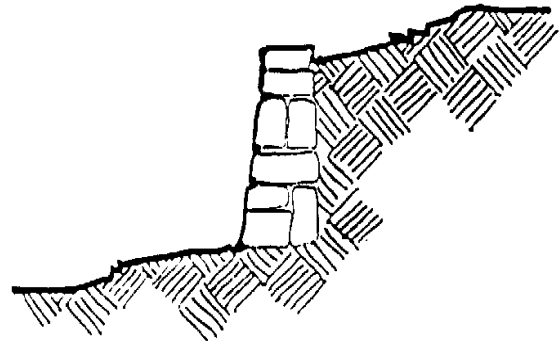
When you build your home at Singletree, you may want to use grading to create visual interest, provide privacy, or improve climate control. However, it is important that disruption of natural conditions be kept to a minimum and that all grading be softened to avoid abrupt changes in the natural terrain. The Design Review Committee will not consider site planning and grading that will have any adverse drainage or other negative impacts on neighboring lots.

Because steep slopes and dry soils are characteristic of Singletree, the drainage system for your site should typically distribute the runoff from storms or irrigation over large areas of land to slow runoff velocity and to increase absorption. Natural overland drainage is recommended. Open, lined channels or pipes are not allowed, since they concentrate runoff rather than disperse it evenly and slowly.

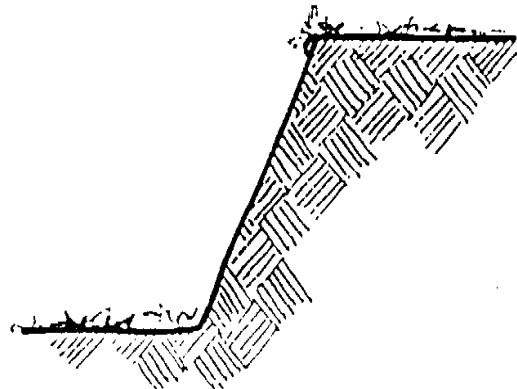
You should also be aware that disturbing large areas of native vegetation on slopes of great steepness can create extensive erosion, and, with occasional brief heavy rain, earth slides. Extensive cut and fill work will therefore be discouraged, and retaining walls and terracing are recommended in areas where large changes in grade occur.



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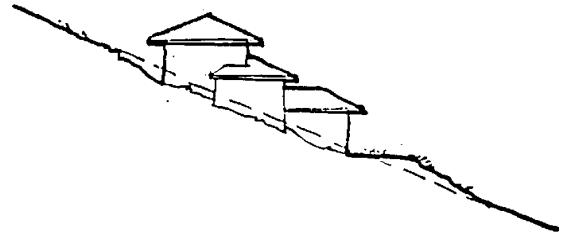


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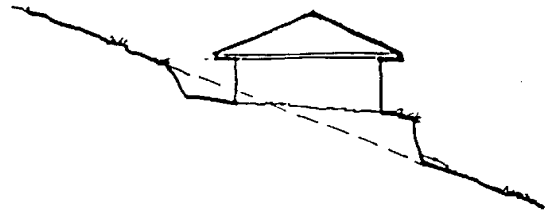
2.5 SITING

You will want to site your house to take advantage of the wonderful views that surround Singletree. There are other siting considerations you should also keep in mind.

Buildings on the hillside should step down the slope. Siting the long axis of the building parallel to land contours and avoiding protrusions above ridge lines will help the building fit naturally into the landscape.

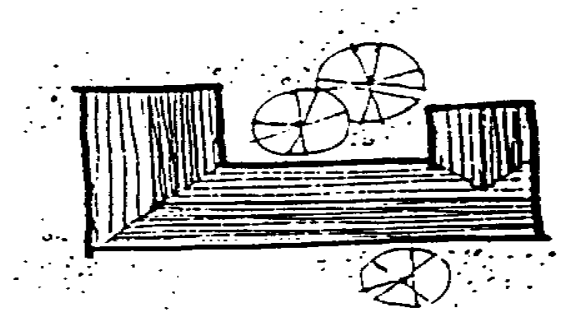


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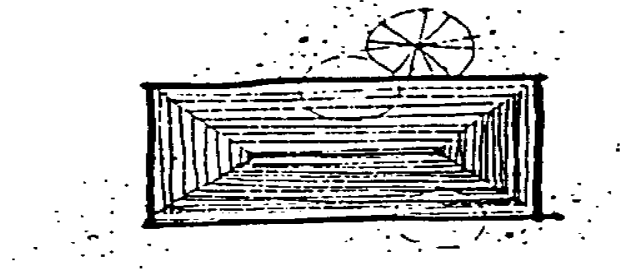


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Building siting should be responsive to site features such as trees, terrain, drainage patterns, views, sun exposure, and rock outcrops, and there should be as little disruption of existing vegetation as possible.



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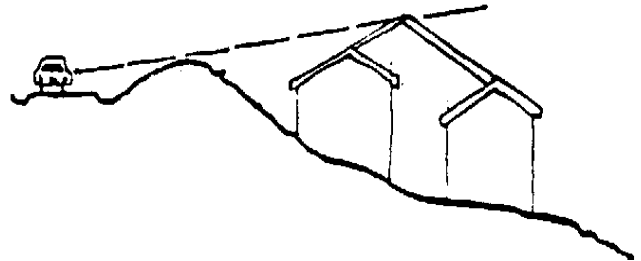


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SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 2 - ARCHITECTURAL DESIGN RULES AND STANDARDS

Berming can and should be used, where appropriate, to create privacy and to screen your home from public areas.

Properly siting your home can also save energy, a particularly important consideration in the high country. Orienting living areas to the South or slightly East of South helps these areas stay warm in the winter and comfortable in the summer. Blocking wind and drifting snow to the North also reduces the impact of winter weather.



2.6 ADJACENT HOMES

Siting of new homes and alterations to existing homes should relate well with neighboring and particularly adjacent homes. The type of construction, scale and general context of the neighboring homes should be taken into consideration when designing a home that will be constructed next to an existing home. By stepping back the bulk of the building on upper levels, the narrow, unpleasant "canyon" between buildings can be avoided.



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2.7 DRIVEWAYS

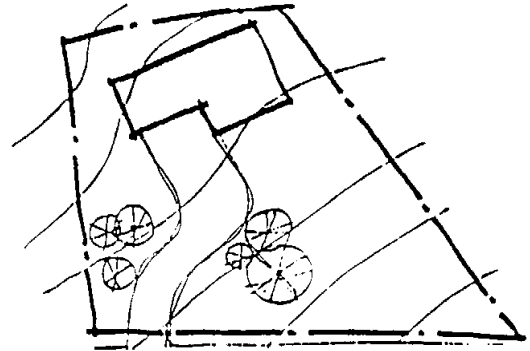
Safe access onto public roads from private driveways is an important consideration. Minimizing the disturbance of natural grade and existing vegetation, and providing durable materials are other aspects of driveway design in Singletree which the Design Review Committee will carefully review.

Clear visibility of roadways from driveways and a degree of intersection as close to 90 degrees as possible will improve the safety of access onto the public road.

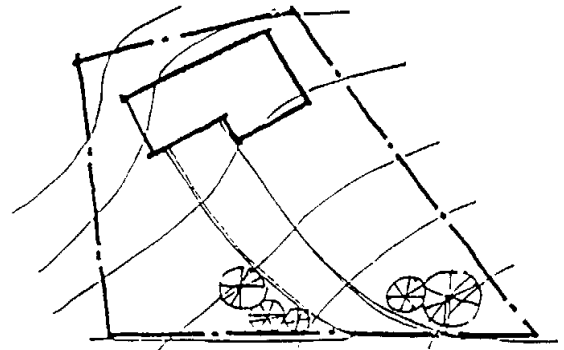
Drives on sloping ground should not run perpendicular to land contours, and all cut-and-fill should be softened in accordance with grading guidelines and then revegetated. Interference with natural drainage flows should be avoided, as should the interception of surface drainage from roadways. Properly engineered culverts must be installed at all locations where driveways intersect drainage patterns. Such culverts must be in place during construction, as well as permanently after construction.

Snow storage space is critical and should be indicated on the final approved plans that are retained by the DRC. Plowing or storing snow on the streets is to be avoided.

No hammerheads, extensions of driveways or parking areas shall be constructed within the setbacks of any lot.



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SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 2 - ARCHITECTURAL DESIGN RULES AND STANDARDS

Driveway slopes should not exceed 8% for satisfactory year-round access. Driveways at Singletree must be paved. Driveways should be no wider than necessary to provide safe access to your home.

To limit the extent of paved surface, duplex owners are encouraged to build driveways that can be jointly used.

More than one driveway cut per lot will be discouraged. Exceptions may be granted in circumstance where the lot is located on a corner, with street access from 2 different streets.

Driveways are part of the landscape plan, and are therefore subject to the requirements of the landscape deposit. (See Section 8.7)
Completed landscaping and a paved driveway are required for return of the Landscape Deposit.

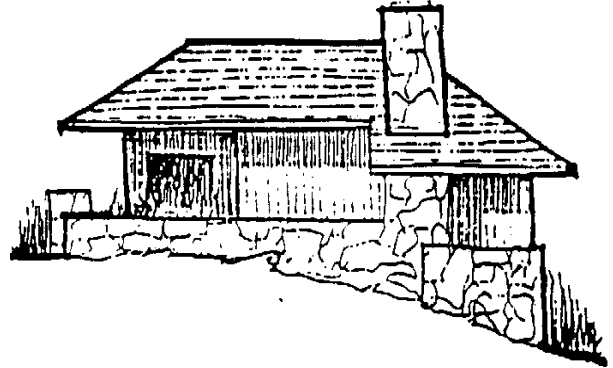
2.8 ARCHITECTURAL COMPOSITION

The architectural compositions of homes at Singletree should coordinate and unite all of the pieces that make up the design. Individual elements, openings, and special treatments used arbitrarily become distracting to a good overall design. Indeed, attempts to "dress up" a weak design by applying detail and ornament are not usually successful.

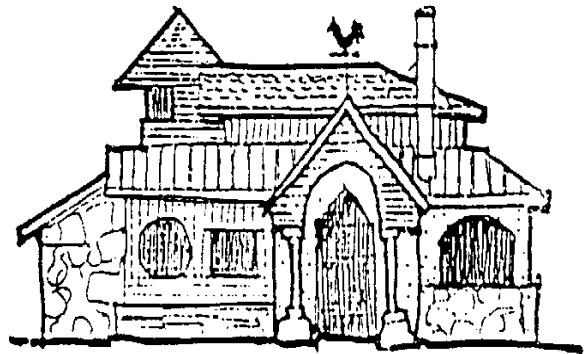
Good design involves a site plan, floor plans, sections and elevations that are well thought out in how they take advantage of the site, relate to the neighbors, use of materials, and make the most of your budget.

Elevations should be well composed with details that are consistent with the selected materials and used in a logical manner. An excessive number of sizes, shapes, and materials, both in massing and detailing usually results in a weak design.

Particular attention should be given to entry areas, so as to increase "curb appeal" and a "sense of arrival".



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2.9 ROOFS

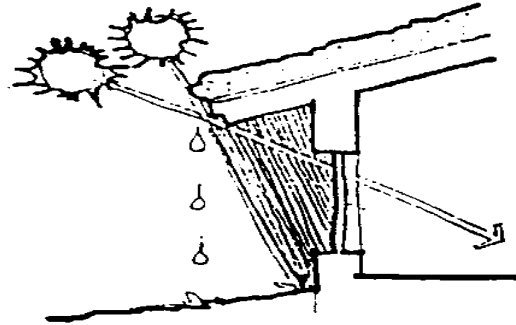
Roofing materials on new sloped roofs should be concrete shakes, slate tiles, fire resistant composition roofing materials or approved equals. Other acceptable manufactured materials may be approvable, but said materials will be reviewed on a case by case basis to assure design appropriateness.

Roofing material colors shall be muted earth tones that complement the home's exterior color scheme. Metal roofs will be considered on individual site conditions and design appropriateness. Minimizing reflectivity should be the major consideration in any metal roof submittal.

Wood shakes may be approvable on new sloped roofs depending on the Eagle County Wildfire Hazard rating assigned to the subject lot. (See Section 2.1)

Asphalt composition roofing materials and pressed-wood shakes are not acceptable.

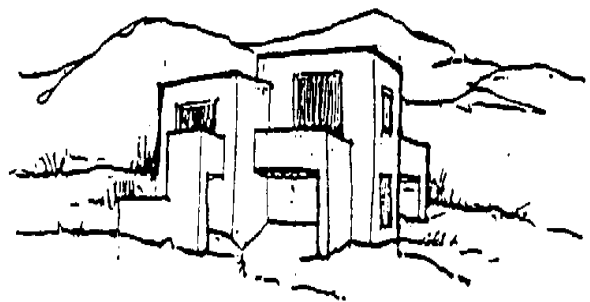
For sloped roofs, several considerations will determine the appropriate pitch. Generally, it is desirable for a sloped roof to hold snow, thus providing added insulation and preventing snow slides. The ability of a roof to hold snow will depend on the pitch and on the roof material. Aesthetically, a shallower slope can visually reduce the height of the building, which is sometimes desirable. However, a steep roof can provide drama and style which may be appropriate. Roof slopes will be evaluated by the DRC on a case-by-case basis.



Overhangs should be designed to shade exterior walls and interior spaces from summer sun, and to allow winter sun into the house. Overhanging roofs can also conduct water away from the house.

Roof overhangs cannot encroach on building setback requirements. (See Section 2.3)

The view of flat roofs from above is often unattractive, and therefore flat roofs should be handled with particular care. To avoid "naked" membrane materials, flat roofs that are visible from any street or neighboring homes may require ballasting. Whether ballast is required will be determined by the DRC on a case by case basis. Parapet walls and flat-roofed buildings may be most appropriate on the upper hillsides, where the building is viewed from below against a backdrop of the mountains.

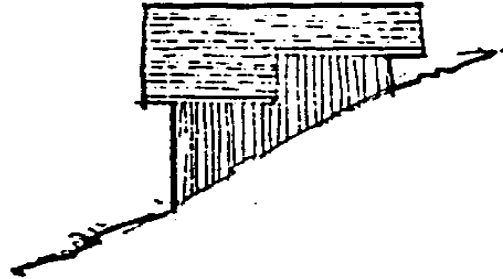


2.10 FOUNDATIONS

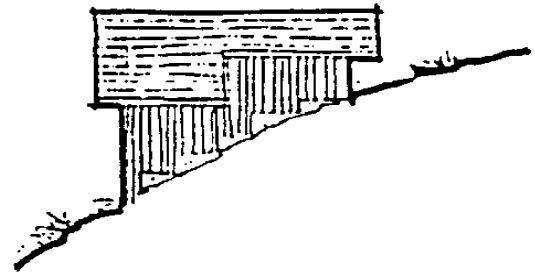
In most cases, spread footings with foundation walls will be suitable for structures at Singletree. It is **required** that qualified soils and structural engineers be retained to determine the foundation requirements of your site.

Concrete foundation walls which are exposed more than one foot above the ground should be faced or stained to match exterior wall materials. Exterior wall materials that extend from walls down over foundation walls should follow grade lines, not the steps in the concrete foundations.

Your soils engineer can determine the foundation drainage requirements. In general, at locations where the footing lies below bedrock, a continuous perimeter drain at the foundation footing should be provided and drained to daylight.



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2.11 EXTERIOR WALL MATERIALS

In keeping with the goals of Singletree to maintain and preserve the natural surrounding, design in harmony with nature should be extended to materials, finishes and color selection. Synthetic or cultured stone finishes will not be permitted for exterior wall materials.

Building materials of a natural type such as wood, rock, stucco and native materials indigenous to the area are encouraged. Natural, earth tone colors similar to the general colors found in the hills that form the back drop for Singletree are required. These colors or transparent finishes on the specified materials will enhance them and actually improve with age. Glossy or reflective finishes are not approvable. (See Section 2.15)

2.12 WINDOWS AND OPENINGS

The detailing of windows in homes at Singletree should be an integral part of the home's design. The wall materials will help determine the type of opening which is appropriate. For instance, in a stucco wall, a deep opening gives the wall a feeling of thickness and weight.

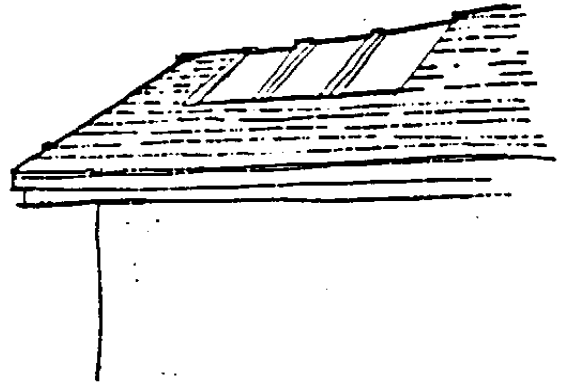
The effect of windows on heat loss and heat gain should be of paramount importance in the design of your mountain home. Insulating glazing (double-paned or triple-paned glass) should be used in all cases. Wood window frames are preferred because of their thermal qualities. The DRC encourages the use of the latest window and glass technologies. Ultra-violet protective glazing, low-emissivity windows and related technologies are recommended.

The positioning of windows, however, has the greatest effect on heat flow in a home. Large window areas oriented to the South and Southeast serve as auxiliary heat sources during the cool autumn, winter, and spring months, admitting early morning sunlight that heats living areas rapidly. Low sill heights in combination with radiation-absorbing floor materials can provide heat storage and passive solar heating.

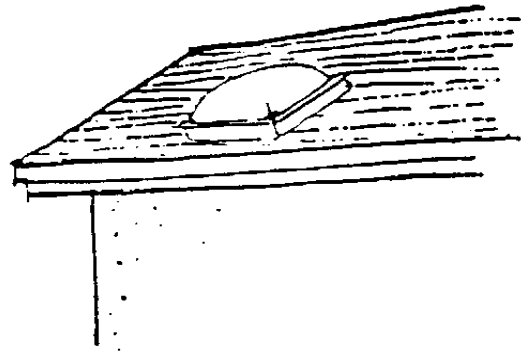


2.13 SKYLIGHTS

Skylights are a wonderful way to introduce natural light to the inner spaces of your home. Skylights present many opportunities, but should be integrated into the design of your home and should be selected so that reflections from the glass surface will not impact neighboring homes.



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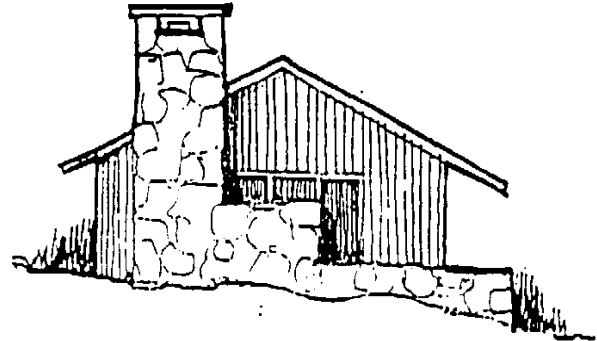


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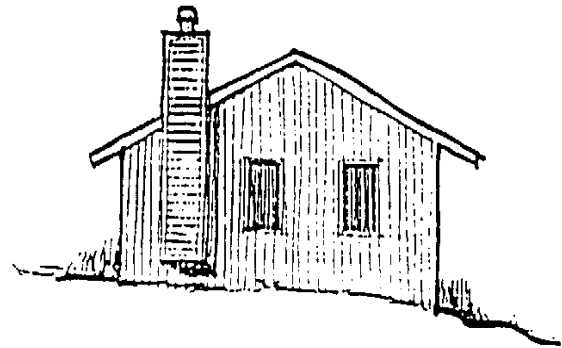
2.14 CHIMNEYS AND MECHANICAL VENTS

Chimneys are usually very strong roof elements that are required by code to extend higher than adjacent roof lines. This makes proportions important, and materials should give a chimney an appearance which is consistent with the design of the building.

Flue vents and all mechanical and/or heating vents shall be enclosed in a chimney chase with the top being concealed by a chimney cap with a spark arrester as required by Singletree covenants. The final plans shall include details on the chimney cap design.



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2.15 REFLECTIVE FINISHES

Reflecting or contrasting finishes are not acceptable, and all exposed metals such as fascias, flashing, wall and roof vents, metal enclosures, galvanized material and other items shall be painted an approved color, (usually the color of contiguous materials). Reflective glass windows, skylights or other similar materials are not permitted.

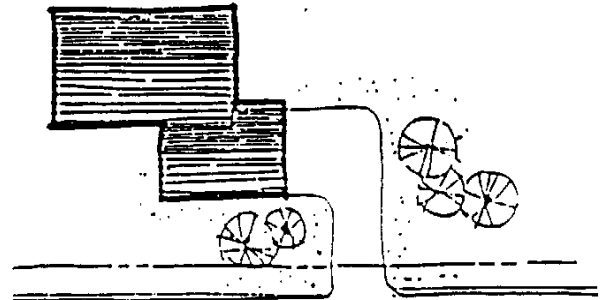
2.16 GARAGES AND GARAGE DOORS

A minimum of one garage per unit is required at Singletree.

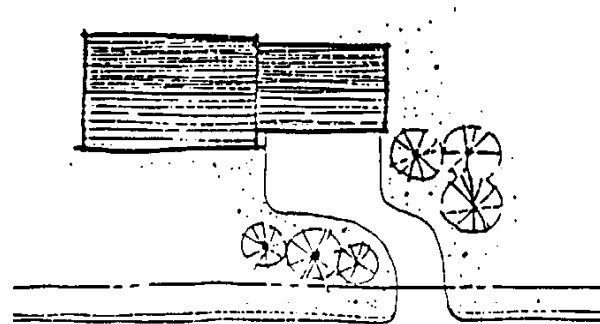
Care should be taken to ensure that the garage doors do not dominate the entire residence. The material of garage doors should be consistent with the rest of the house. Stamped metal or metal clad garage doors are discouraged. Garage doors finished in metal will be considered on a case by case basis.

Garage doors which directly face the street and straight, full-width driveways are to be avoided. This is especially important on duplexes. Solutions such as recessing the doors, rotating them away from the street, screening them with landscaping, and providing two single doors instead of one double door are encouraged.

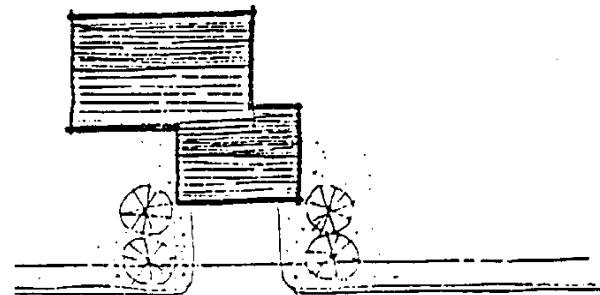
Garages must be connected to the main structure, and must be integral with the design of the residence.



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OR THIS . . .



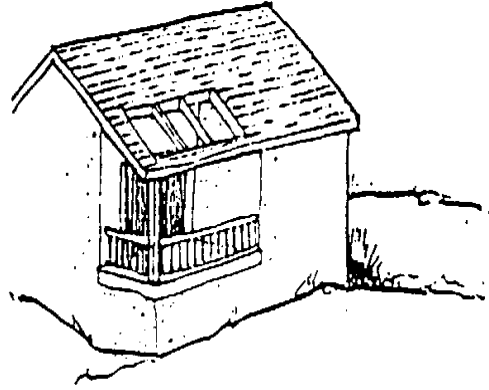
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2.17 PORCHES AND DECKS

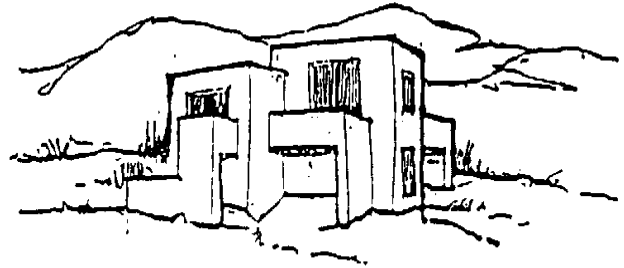
On spring and fall days, and on cool summer evenings in the high country, outdoor living takes place more comfortably on protected porches and decks than on open lawns. Depending on its intended use, a porch or deck may or may not have an overhead covering such as a roof or trellis to protect it from rain and from the summer sun. The use of walls and railings can protect the outdoor space from wind, and can also help to tie a porch or deck architecturally to the rest of the building.

Visual integration of both on- and above-grade decks into the rest of the building is very important. A "tacked-on" look should be avoided, and effort should be made, through the use of massing and materials, to make the deck appear to be part of the building design. All visible deck joists and beams are to be painted to match the trim color or the primary color of the house so as to make them as unobtrusive as possible.

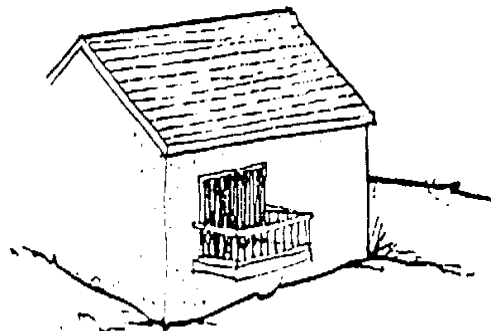
If porches or decks are elevated above the ground on hillside sites, their understructures should be enclosed so that warm updrafts are not trapped to create a wildfire hazard. The Wildfire Hazard rating of the site as determined by Eagle County will affect the design of decks and the materials utilized. This is less critical if the ground under and adjacent to the porch or deck is a patio, some type of xeriscape or hardscape material, and/or other maintained landscaping.



THIS . . .



OR THIS . . .



NOT THIS

2.18 METER BOXES

Holy Cross Energy has advised consumers that meter boxes (or cabinets) are undesirable and therefore, enclosures for new projects in Singletree must address the issues of access and the actual meter face must be easily seen. The reasons cited by Holy Cross included sub-standard construction, restricted access by meter readers, cabinet door openings restricted by snow or ice, improper use of cabinets as storage areas and other reasons.

Accordingly any meter concealment strategy must address these concerns and in cases where appropriate concealment isn't feasible, electric meters, similar to gas meters, should be painted to match the adjacent exterior wall material and shielded from view by evergreen landscaping material without precluding access by utility company employees.

2.19 ANTENNAS AND SATELLITE DISHES

Non-standard television or radio antennas or satellite dishes are not allowed in Singletree. (Standard size in 2014 is less than 39")

Mounting locations for antennas or satellite dishes on the exterior of the home should be considered in the design of the home and should be placed in an obscure location, so as to minimize visibility by neighboring homes or public spaces.

2.20 TRASH MANAGEMENT

All trash cans must be placed in enclosed areas. These enclosures should be an integral part of the home. A trash enclosure shall be considered a structure and may not be located in the lot minimum setbacks.

Separate enclosures are strongly discouraged but may be necessary in multifamily (not duplexes) complexes. Should such an enclosure be necessary, it must be constructed of the same materials as the complex, and it shall be designed so as to provide outside access. Any such separate enclosures must be approved by the DRC prior to construction.

2.21 AIR-CONDITIONING CONDENSERS

The climate in Singletree has become warmer in the summer months resulting in homeowner efforts to install air conditioning systems.

All mechanical equipment and air-conditioning condensers installed on the exterior of the home shall require DRC approval. Such equipment shall be installed within the setbacks and as close to the home as possible. Air-conditioning condensers shall have a 10 or higher SEER Rating (Seasonal Energy Efficiency Ratio) and be screened from view with evergreen landscaping.

2.22 MANUFACTURED HOUSING & PLAN SERVICES

Attempts to achieve appropriate solutions using manufactured housing and pre-designed plans at Singletree have been unsuccessful to date. The use of either of these methods is strongly discouraged and will receive special scrutiny from the committee. In addition to the other Guidelines set out herein, the primary issues to be considered will be the scale of the components, their integration into the overall project, the siting of the proposed project and customizing the design in a site-specific manner.

2.23 DUPLEXES

The Singletree DRC finds it imperative that every duplex structure at Singletree be designed as a well-conceived, unified, total building. Accordingly, mirror-image duplexes and duplexes which are made up of two unrelated units which collide in an unresolved fashion will not be permitted.

2.24 SOLAR DESIGN

Both active and passive solar design are highly feasible, and strongly encouraged, at sun-drenched Singletree.

The comfort and convenience of your home can be improved through the use of passive solar heating. This can be accomplished through site planning, architectural design, and the use of landscape furnishings. Passive solar features can be appropriately integrated into the overall design of your home, and can enhance its appeal.

Active solar systems are also feasible at Singletree. Careful placement of collectors will be necessary to provide maximum solar gain, and minimum visual impact. Collectors and other elements must be integrated into the design of your home and your site. Special consideration should be given to finishes and reflective surfaces so they will not adversely affect neighbors and golfers.

Section 3. Landscape Design Rules and Standards

3.1 LANDSCAPE PHILOSOPHY

It should be kept in mind that the DRC considers the landscape plan to be very important to the overall plan. Only carefully thought-out and detailed plans will be considered. The DRC will require that an approved landscape plan be installed as presented from the standpoint of type, quantity, size and location of landscape materials.

The overall landscape theme of Singletree shall be developed so that any defined manicured garden or bluegrass planting flows back into the natural landscape. Manicured or groomed yards shall be defined by borders of native grasses, wild flowers, groundcovers, and rocks. These materials, in turn, shall work naturally into the existing topography and flora of Singletree.

Effort equal to the design of the home should be put into the landscape plan's design and installation. The grading, planting, and other landscaping elements should serve to further integrate the building into its environment.

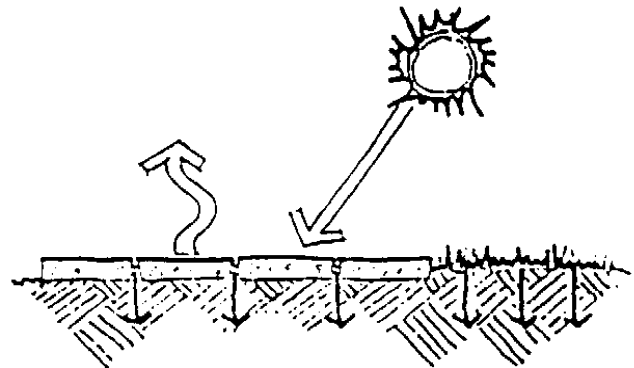
All disturbed areas must be planted or reseeded. Proper erosion control techniques, as detailed in The Covenants, shall be observed.

The landscape design should consider the Eagle County Wildfire Hazard rating (See Section 2.1)

3.2 PAVED AREAS

You may wish to pave areas around your house that will be subject to intensive use, such as patios and walks. Poured monolithic slabs of concrete or asphalt, (which tend to chip and crack,) are far less desirable for pedestrian areas than paving that uses smaller units such as bricks, flagstones, or pre-cast concrete pavers. These materials offer an aesthetic advantage in that they can be used to create attractive patterns and textures on a small scale. They also contribute to controlling runoff, because water can percolate into the ground through spaces between paving units. Paving materials with high thermal density are good, because on cool evenings they re-radiate heat absorbed during the day. Large paved areas with reflective surfaces and southern exposures should be shaded to reduce reflected heat and glare.

Paved areas are considered "constructed elements" and therefore are not permitted in the lot's setbacks. (See section 2.3)



3.3 FENCES

While everyone is entitled to the privacy of their home, the environment of the Rocky Mountains promotes the idea of open space. A sensitive design can promote open space and still define "what's mine" with planting and other, less rigid, landscaping elements. This approach is highly encouraged by the DRC. Indeed, the greatest preservation of the natural environment and wildlife habitat at Singletree would be realized if no fences were to be built. However, we understand that fences are sometimes necessary for a variety of reasons. Therefore, fences are allowed at Singletree, **provided they have been approved by the DRC prior to construction.**

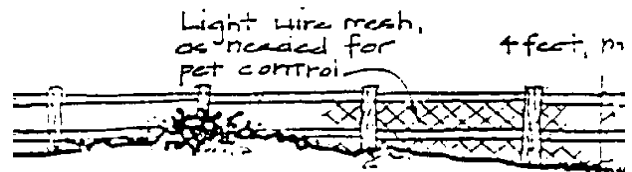
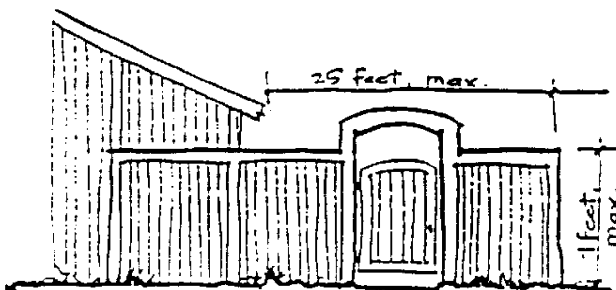
Fences should be an extension of the architecture and architectural materials and used only where absolutely necessary. Fencing that simply defines property will not be approved by the DRC.

Natural plantings should be used to further mask the fence from roads and surrounding properties, and to integrate it into the landscape design. **No fence shall be permitted to be constructed in any of the setbacks.** (See Section 2.3)

Solid fencing, which has more impact on the landscape than open fencing, should be attached to the building and used within 25 feet of the home. Solid fencing exceeding 7'-0" will not be allowed.

Fencing further than 25 feet away from the house should be open and no more than 4 feet in height. Split rails and wood posts are preferred, although other materials and designs may be accepted upon review by the DRC. Light wire mesh may be applied to the inside of split rail type fencing for the purposes of controlling pets and children, as it is generally not visible

PET ENCLOSURES: Article VI, Section 3 of the Covenants states: "No pet enclosure, cage or kennel, either of a temporary or permanent nature, shall be placed on the properties unless specifically approved by the Association; such approval shall be granted only if the Association can impose conditions which reasonably assure that such pet enclosure, cage or kennel is concealed from view from adjacent lots and public areas.



SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 3 - LANDSCAPE DESIGN RULES AND STANDARDS

3.4 SHADE TREES

Very hot days are rare in the high country, but you will want some shade for relief from the intense, bright light of the summer sun. Shade trees should be placed to shade walls or outdoor activity areas, and to frame views. When integrated with a passive solar design, deciduous trees provide shade in summer and allow sunshine through in the winter.

Trees should be planted in clustered, natural groups, as part of an overall landscape scheme. Trees that are planted by themselves, or in rows, or are used to identify lot boundaries, driveways, etc., will be discouraged.

Climate and soil conditions limit the varieties of shade trees that will thrive at Singletree. Most non-indigenous species will require extensive watering and extra attention. Drip irrigation systems are recommended for all transplanted trees in the arid Singletree climate.

Minimum sizes for landscape plant material are:

1. Deciduous trees - minimum of 2 ½" caliper;
2. Evergreen trees - minimum of 6' from top of root ball, and
3. Shrubs - minimum 5 gallon.

A list of suggested species follows:

TREES

ANGUSTIFOLIA
ROCKY MOUNTAIN JUNIPER
SCOPULORUM
UTAH JUNIPER
OSTEOSPERMA
PINYON PINE
ASPEN
BLUE SPRUCE
ENGLEMAN SPRUCE

JUNIPERUS
JUNIPERUS
PINUS EDULIS
POPLUS
PICEA PUNGENS
PICEA ENGLEMANII

SHRUBS

BIG SAGEBRUSH
RABBITBRUSH
NAUSEOSIS
DWARF RABBITBRUSH
VISCIDIFLORUS
WILLOWS
GAMBEL'S OAK
SERVICEBERRY
ALNIFOLIA
SNOWBERRY
OREOPHILLUS
ANTELOPE BRUSH
CHOCKECHERRY
MOUNTAIN SAGE
GOLDEN CURRANT
THREE LEAF SUMAC
MOUNTAIN MAHOGANY
MONTANUS
BUCKHORN
NEW JERSEY TEA

ARTEMISIA TRIDENTATA
CHRYSOTHAMNUS
CHRYSOTHAMNUS
SALIX Species
OUERCUS GAMBELLI
AMELANCHIER
SYMPHOCARIPOS
PURSHIA TRIDENTATA
PRUNUS VIRGINIANA
ARTEMISIA FRIGIDA
RIBES AUREUM
RHUS TRILOBATA
CERCOCARPUS
RHAMMUS SMITHII
CEANOTHUS FENDLERI

3.5 ORNAMENTAL PLANTINGS

Decorative plantings provide accent and color, define areas of your site, and enhance the setting of your home.

Native plant materials or hardy species that tolerate dry, cold winters, and short growing seasons will do well at Singletree, whereas introduced species will require additional attention in order to thrive, if they do so at all. Sagebrush, rabbitbrush, serviceberry, and a variety of other plant materials native to the area can make an impressive showing when they are thoughtfully placed and carefully established.

Native plants are more subtle than non-natives. They are most effective when they are massed in dense groupings at strategic locations, rather than randomly dispersed about your site. However, a single ornamental plant can be effective, if it is used as an accent in a garden or in a fashion that again, enhances the landscape design.

The replanting or installation of new or removed sage shall not be considered in calculating the number of shrubs used in landscaping a project.

A list of suggested species follows:

ORNAMENTAL TREES

GREEN ASH	FRAXINUS PENNSYLVATICA
ROCKY MOUNTAIN BIRCH	BETULA FONTINALIS
BOXELDER MAPLE	ACER NEGUNDO
CRABAPPLE	MALUS <i>Species</i>
AMUR MAPLE	ACER GINNALA
MOUNTAIN ASH	SORBUS SCOPULINA
AUSTRIAN PINE	PINUS NIGRA
BRISTLECONE PINE	PINUS ARISTATA
MUGO-SWISS PINE	PINUS MUGO MUGHUS
PONDEROSA PINE	PINUS PONDEROSA
	SCOPULORNUM

ORNAMENATAL SHRUBS

SIBERIAN PEASHRUB	CARAGANA ARBORESCENS
WINGED EUONYMUS	EUONYMUS ALATUS
VARIGATED DOGWOOD	CORNUS ELECANTISSIMA
ZABEL HONEYSUCKLE	LONICERA KOROLOXOWII
	"ZABELI"
COMMON LILAC	SYRINGA VULGARIS
MOUNTAIN NINEBARK	PHYSOCARPUS MONOGYNUS
BUSH CINQUEFOIL	PONTENTILLA FRUTICOSA
PURPLE LEAF SANDCHERRY	PRUNUS CISTENA
COMMON SNOWBERRY	SYMPHORICARPOS ALBUS
SNOWMOUND SPIREA	SPIREA NIPPONICA
SMOOTH SUMAC	RHUS GLABRA
AMERICAN CRANBERRY	
VIBURNUM	VIBURNUM TRILOBUM
NANNYBERRY VIBURNUM	VIBURNUM LENTAGO
GROUNDCOVER JUNIPER	JUNIPERUS HORIZONTALIS
	<i>Species</i>
SPREADING JUNIPER	JUNIPERUS CHINENSIS
	<i>Species</i>
	JUNIPERUS SABINA <i>Species</i>

3.6 GROUNDCOVER

Ground cover plays an important role in conditioning the surface of the fine-grained soils of Singletree to prevent erosion and sedimentation. The variety of leaves and flowers lends color, and the plants provide a form of natural cooling by absorbing radiation from the sun.

Groundcover at Singletree can be of two types: irrigated lawn, or drought tolerant, native grass and herbs.

In general, areas of irrigated lawn should be kept to a minimum, for practical as well as aesthetic reasons: obtaining water for Singletree is expensive, and the vivid green of an irrigated lawn contrasts strongly with the muted hues of the natural environment. Still, irrigated turf wears well in high-use areas and is considered acceptable for relatively flat areas which will retain water.

Drought-tolerant grasses and herbs offer you several advantages, and their use will be encouraged. They provide variety and visual interest, they look attractive in a mountain setting, and they are easy to care for once they have been established.

During the period these grasses are being established, the owner shall be responsible for eliminating and eradicating all noxious weeds.

A list of suggested species follows:

HERB GROUNDCOVER

LUPINE
BALSAM ROOT
BEARDTONGUE
YUCCA
OREGON GRAPE

LUPINUS ARGENTEUS
BALSAMORRHIZA SAGITTATA
PENSTEMON Species
YUCCA GLAUCA
BERBERIS REPENS

GRASSES

GREAT BASIN WILD RYE
NEEDLE & THREAD GRASS
WESTERN WHEAT GRASS
BLUE BUNCH WHEATGRASS
INDIAN RICE GRASS

ELYMUS CINEREUS
STIPA COMATA
AGROPYRON SMITHII
AGROPYRON SPICATUM
ORYZOPSIS HYMENOIDES

3.7 VEGETABLE GARDENS

Although the growing season in the high country is brief, the sunny exposure of the site increases the potential for vegetable gardening at Singletree. There are approximately 100 to 110 consecutive frost free days in Singletree, generally from early June through the middle of September. This growing period can be lengthened by maximizing the sun exposure of the garden. Screening it from cool, North winds, and placing it in a location that does not trap cold air as it moves downslope at night can also increase a vegetable garden's productivity.

Like other irrigated areas, vegetable gardens can look out of place if they are highly visible, so it is important to site them carefully. Gardens on the hillsides should be avoided, where possible, or terraced into the hillside.

Fencing used for protection of vegetable gardens requires DRC approval.

3.8 WINDBREAKS AND EROSION

Relief from the wind should be formed by planting and earth-berms. These can help protect you home from heat loss, and shelter outdoor areas so they are comfortable earlier in the spring and later in the fall.

Windbreaks should be low (4 feet to 6 feet high) to be visually compatible with the open character of Singletree's environment. To be effective, they should also be dense and placed close to the area or structure they are designed to protect.

It is required that all areas disturbed by construction be permanently stabilized by seed and mulch, sod and/or other plant material. Straw is recommended as a mulch over seed-grown areas to improve and hasten the germination. Any areas that have a 2:1 slope or steeper should be controlled by an erosion control blanket.

3.9 NATIVE PLANT SPECIES

Refer to the accompanying tables set out in Sections 3.4 and 3.5 for a list of plants which are native or adapted to the Singletree area and which have potential for landscape use in the Controlled and Domestic Landscape Zones. In addition to general limitations of climate and water, there are localized variances in soils, slope and exposure from site to site that must be considered when you select plant materials.

Many native species are drought-resistant because of the nature of their deep, broad root system and other adaptive mechanisms. For this reason, some are harder to propagate than introduced species, but once established, are much hardier and more maintenance-free. Clearing of native vegetation should be avoided wherever possible in order to preserve the native stands.

Existing areas of native sagebrush will become denser and taller if watered properly, resulting in a denser shrub growth than exists in under-normal conditions. This will be an inevitable by-product in areas near irrigated zones which receive spray and runoff or have higher local humidity. In other areas, sage may be encouraged by direct irrigation. However, large amounts of water are detrimental to sage and other dryland species.

3.10 ORNAMENTAL PLANT SPECIES

It is advised that care be taken when designing with ornamental plants. The ornamentals in the accompanying table found in Section 3.5 are domestic plants that may survive our climate depending on their hardiness, exposure, and the care they receive. Other factors may contribute to a higher mortality rate for ornamentals.

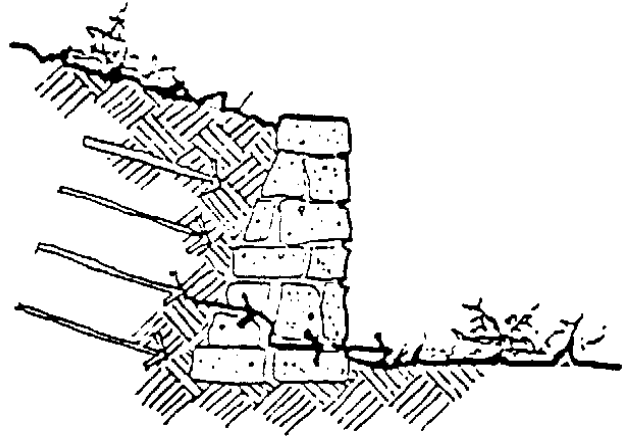
3.11 SOILS AND GEOLOGIC CONDITIONS

Prior to installing landscape material, an owner should have a consulting engineer verify soil and geologic conditions on their sites before they begin landscape construction.

3.12 PLANTERS & RETAINING WALLS

Steep or unusual terrain will in many cases present an opportunity to use retaining walls or planters to resolve an otherwise difficult relationship between grades.

Stone and stone faced concrete are the preferred materials, although carefully designed construction with nested boulders or other appropriate materials may be acceptable. In some circumstances, nested boulder walls will require engineering to assure their effectiveness. In general, such boulder walls shall not exceed four (4) feet in height. The use of exposed concrete, concrete blocks and/or split-faced concrete block will not be permitted.



Retaining walls and planters must be securely anchored into the ground to withstand overturning pressures. Site walls exceeding 7 feet will not be permitted. Mortarless stone walls, in particular, must be made thicker at the bottom than at the top. To avoid destructive freeze-thaw action, all retaining walls and planters must also permit water trapped behind them to be released through weep holes and draitile.

Like fences, planters and retaining walls will be most attractive when they are similar to your house in color and character.

3.13 EXTERIOR LIGHTING

You should choose exterior lighting systems with care to ensure minimal glare. No light should be directly cast onto neighboring properties.

NO FLOOD LIGHTING WILL BE PERMITTED AT SINGLETREE. Instead, we encourage lighting with a number of low-intensity sources close to the area requiring illumination. This will in nearly all cases be more effective than lighting with a remote single source. **All exterior lighting should direct light downward, and the light source should not be visible from your neighbor's property.** Pole-mounted lights are discouraged. Nevertheless there are circumstances which may indicate the necessity of a pole mounted light and in those cases the light source must be within six (6) feet from the ground. Specification sheets (cut sheets) for all exterior light fixtures shall be submitted by each applicant for approval by the DRC. For new projects the exterior lighting specification sheets shall be submitted at the Preliminary Design Review phase.

ALL EXTERIOR LIGHTING PLANS TOGETHER WITH THE SPECIFICATIONS FOR EACH LIGHT, MUST BE SUBMITTED FOR FINAL REVIEW AND APPROVAL BY THE DRC.

3.14 EXTERIOR BARBECUES AND FIRE PITS

Article VI, Section 8 of the Amended and Re-stated Declaration of Covenants prohibits "open fires". Accordingly, no wood burning fire pits or barbecues shall be permitted. Fire pits fueled by natural gas or propane may be permitted only with the approval of Eagle County and the DRC. In considering such an approval, the DRC shall make a determination regarding an appropriate defensible area for fire control, attendance of a responsible individual while in use and strict compliance with all Eagle County and State of Colorado fire ordinances, regulations and statutes.

Any such fire pit or barbecue shall be integrated into the landscaping of the lot and shall harmonize with the surrounding area.

Section 4. Golf Course Lots - Design Standards and Guidelines

4.1 THE GOLF COURSE

The Sonnenalp Golf Club is an important feature of Singletree. Its successful maintenance will benefit everyone living and visiting Singletree. Some special requirements are therefore placed on the owners fortunate enough to own a lot on the golf course.

4.2 THE GOLF COURSE EASEMENT

Along the golf course a 15-foot setback has been maintained as a transitional area between the golf course and the individual lots that border the course. **Absolutely no construction and no construction staging will be allowed in the golf course easement.** The Design Review Committee will carefully review the relationship of the landscaping within this easement to that of the golf course, as well as to that of the home.

Landscape in the golf course easement should address the safety issues associated with the golf course and create an interface between the individual home site and the adjacent fairway, green, or tee.

The DRC highly recommends the use of landscaped berms and plantings that safely separate the two entities and discourage golfers and stray shots from entering home sites. If executed properly and in conjunction with the careful siting of the home, these solutions should eliminate any need for safety netting.

4.3 SITING HOMES ALONG THE GOLF COURSE

The placement of your home on a golf course lot is important for a several reasons. The play of the course can be greatly affected by improperly sited homes. Furthermore, the safety of residents along the golf course can only be ensured by thoughtfully placing and orienting windows and occupied outdoor areas.

Homes along the golf course are deemed to have two 'front elevations'. The DRC will review the golf course elevations for aesthetics and architectural interest due to their high visibility.

It is strongly recommended that any owner or architect who is unfamiliar with the play of the course contact the Design Review Committee. The members of the DRC are familiar with the course, and will review each submittal carefully to ensure the protection of the both owner and the golf course.

Locating the building in an area protected from stray golf shots is the responsibility of the owner and the owner's design team. Thoughtfully locating windows, patios, and outdoor play areas away from tees enhances the wonderful experience of living on a golf course.

Golf ball protection netting is not permitted at Singletree. However, in cases of hardship, alternative protective treatment **must be reviewed and may be permitted by the DRC.**

Section 5. Signage - Design Standards and Guidelines

5.1 SIGNAGE

All signs at Singletree must abide by the following sign guidelines. Any other signs are prohibited and will be removed.

Four types of signs shall be allowed at Singletree: (1) "For Sale Signs" used for selling lots or developed properties, (2) "Project Signs" for projects under construction, (3) "Commercial Signs" located on and identifying property zoned and used for nonresidential purposes, and (4) "Public Safety Signs" installed by governmental entities for public safety purposes. Subcontractor signs, material supplier signs, signs advertising services and all other signs are prohibited.

For Sale Signs and Project Signs must be placed 20 feet from the edge of the asphalt road, facing the street. **Such signs are prohibited along the golf course.**

SPOA or its agents may enter upon the subject property to remove and retain the prohibited signs. The prohibited sign shall be returned to the property owner or his agent at no charge for a first time violation. Thereafter, a \$50 charge shall be imposed for each sign returned.

5.2 "FOR SALE" SIGNS

Information will be limited to the following:

- A. "Property for Sale"
- B. "By Owner" or Realtor Name
- C. Address
- D. Phone Number
- E. Property Description

Sign size shall not exceed 24" by 36".

5.3 "PROJECT" SIGNS

Information will be limited to the following:

- A. Lot, Block, Filing, and Street Address
- B. Owner or Project Name
- C. General Contractor, Address, Phone #
- D. Licensed Architect or Designer, Address, Phone #
- E. Real Estate Broker, Address, Phone #
- F. Building Permit #

Sign type will be 24" tall x 36" wide, supported by two posts. All signs must be professionally lettered.

Section 6. Construction Practices and Guidelines

6.1 LIMIT OF CONSTRUCTION ACTIVITY

As the density of the Singletree community grows, the importance of limiting the extent of construction activity increases.

All construction activity must take place strictly within the property lines of the lot being improved. Furthermore, staging, storage, and construction activity of any kind are not permitted in the Golf Course Easement **under any circumstances. Construction within any easement should be avoided.**

All outdoor construction and other construction activities **will be limited to the time period between 7:00 a.m. and 7:00 p.m. during the week, between 8:00 a.m. and 5:00 p.m. Saturdays, and will be prohibited on Sundays and holidays.** Any other construction activities, including interior construction work which is disturbing to the neighbors, will be limited to the time period between 7:00 a.m. and 7:00 p.m. during the week, Saturdays, between 8:00 a.m. and 5:00 p.m., and will be prohibited on Sundays and Holidays. **THIS GUIDELINE WILL BE STRICTLY ENFORCED.**

6.2 TEMPORARY FACILITIES

On-site office trailers and sales offices are prohibited, unless specifically approved by the DRC. Approval can be obtained by following the Design Review Procedure for temporary structures. (See Section 8.6)

Under no circumstances will a trailer be allowed for living purposes.

Temporary sanitary facilities are required and shall be provided by the contractor. Such facilities shall be located so as to cause the least offense to adjacent properties and lie entirely within the site's setbacks.

6.3 TRASH REMOVAL

Construction sites must be kept trash-free and orderly for the protection of the workers and the neighbors. Construction debris will be collected and contained at the end of each day in a dumpster or other receptacle, which will prevent the trash from blowing around, and which will be emptied in a timely manner.

6.4 SITE DISTURBANCE

Damage to the grading, vegetation, and natural features of the site is to be minimized. Trenching for foundation walls is preferred to scraping the site.

Limits of site disturbance should be visibly marked and maintained throughout construction.

The DRC shall require green netted plastic construction fencing on all projects. The construction fencing shall be used to protect neighboring lots as well as areas of the construction site that are not to be disturbed. The construction fencing shall remain in place through the time the exterior of the building is complete and landscaping is generally completed. In addition, erosion control or silt control fencing may be required on sites where erosion is likely.

6.5 MISCELLANEOUS REQUIREMENTS

Loud music at the job site is prohibited. Please respect the neighbors and keep all noise disturbance to a minimum.

Pets will not be allowed at the job site under any circumstances.

The Builder/Developer/Owner shall prosecute the construction process in a timely, orderly and efficient manner. Sites that are not timely completed or kept clean from trash, debris and waste can result in the forfeiture of some or all of the compliance deposits.

Prior written notice to the owner/builder shall be required before the assessment of any forfeiture or fine.

6.6 FINAL INSPECTION BY DRC

The owner or contractor must request in writing a final compliance inspection by the Singletree DRC or its Architectural Consultant. This inspection will verify that the completed building has been constructed in compliance with the approved plans and specifications.

6.7 OWNER AND CONTRACTOR RESPONSIBILITY

If any construction or improvement is deemed by the DRC to be inconsistent with approved plans or specifications, the owner will be responsible for revising the construction to comply with the approved documents.

Any desired changes to the approved plans must be presented to the DRC for approval prior to said changes being made.

The owner and contractor will be responsible for the cost of repairing any damage caused by their projects' construction activities.

If, during the course of construction, a contractor or subcontractor in any way breaches these regulations, the DRC reserves the right to restrict and/or prohibit future work by that contractor on the current project, as well as on future projects.

Section 7. Supplemental Information

7.1 THE CLIMATE AT SINGLETREE

The climate at Singletree is typically dry, with mild summers and occasionally severe winters.

Features of the climate include fairly wide temperature ranges, abundant sunshine, low precipitation, and low humidity. While climatic data are not available for each site, records made in Eagle, Colorado are a useful guide to conditions at Singletree, with some interpolation of data for elevation and aspect. (In general, higher elevation makes temperatures at Singletree 3-4 degrees cooler than in the Eagle area, while the southern exposure of the site causes daytime temperatures to be 6-12 degrees warmer than normal for that area of the valley.)

Singletree receives abundant sunshine throughout the year. Summer days are warm with cool nights - the average daily temperature fluctuation in summer will be more than 40 degrees. July is the warmest month, with an average temperature of about 63 degrees. The maximum temperatures average over 92 degrees, and the minimums near 40 degrees during this month. December and January are the most severe winter months, with average temperatures around 16 degrees. Maximum temperatures average 32 degrees, and minimums average 0 degrees. Daily temperature fluctuations in the winter are less severe than in the summer - about 30 degrees.

The area receives only 10 to 11 inches of precipitation annually. The average annual snowfall exceeds 50 inches. December and January have the most snowfall, (10 inches,) and occasional snowstorms can occur as late as May and as early as September. Summer precipitation commonly occurs in the form of afternoon showers. Precipitation is generally evenly dispersed throughout the year.

Wind characteristics are generally predictable because of the confined nature of the valley. During the day the prevailing winds blow from the west up the Eagle River Valley at 5 to 15 mph. At night, downslope conditions cause the winds to reverse direction and blow down the valley from the east. Calm conditions prevail about 40% of the time.

7.2 LIST OF CONSULTANTS AND CONTACTS

Architectural Consultant to DRC

JMP Architects (John Perkins)
P.O. Box 2007
Avon, CO 81620
(720) 201-9760
<mailto:perk.jmparchitect@gmail.com>

Fire Protection

Eagle River Fire Protection District
(970) 748-9665
White River Center
90 Benchmark Road, Suite 101
P.O. Box 7980
Avon, Colorado 81620
<http://www.erfpd.org>

Police Protection

Eagle County Sheriff's Office
(970) 328-8500
0885 E. Chambers Ave.
P.O. Box 359
Eagle, CO 81631
<http://www.eaglecounty.us/sheriff>

Electricity

Holy Cross Energy
(970) 949-5892
41266 Hwy. 6 & 24
P.O. Box 972
Avon, CO 81620
<http://www.holycross.com>

Natural Gas Supply

Source Gas
(800) 563-0012
<http://www.sourcegas.com>

Telephone (Local)

CenturyLink
(800) 366-8201
<http://www.centurylink.com>

Water & Sewage

Eagle River Water & Sanitation District
(970) 476-7480
846 Forest Road
Vail, CO 81657
<http://www.erwsd.org>

Building Permits/Zoning Regulations

Eagle County Building Department
(970) 328-8730
500 Broadway
P.O. Box 179
Eagle, CO 81631
<http://www.eaglecounty.us/Building/Permits/Applications>

Singletree Property Owners Association

(970) 926-2611 or (970) 328-5111
P.O. Box 1200
Edwards, CO 81632
<http://www.singlereetoday.com>

Community Manager at the Singletree Community Center

1010 Berry Creek Road
Edwards, CO 81632
(970) 926-2611
<mailto:manager@singlereetoday.com>

Berry Creek Metropolitan District

(970) 926-2611
P.O. Box 1058
Edwards, CO 81632
<http://www.singlereetoday.com>
<mailto:manager@singlereetoday.com>

Section 8. Design Review Process

8.1 SUBMITTAL OF PLANS

The Design Review Committee has been set up to provide guidance to the property owners of Singletree. Its purpose is to help all owners determine what is best for their sites and to provide them with the observations and experiences of the planners, architects, landscape architects, engineers, geologists, and ecologists who have worked on development plans for Singletree.

The DRC does not seek to restrict taste or individual preferences. In general, its aim is to avoid harsh contrasts in the landscape, to preserve and protect the functioning of important ecological systems, to encourage design adapted to the climate, and foster harmony between buildings and their sites and within the buildings themselves.

For any new building, addition, exterior renovation/remodel, minor alterations/ improvements, or significant landscape changes, the procedures outlined in The Covenants and these Design Guidelines must be followed. The Covenants and Design Guidelines together provide direction and assistance to the owner for the development of a home site, and impose certain requirements for approval.

The Committee's review process includes:

- 1) Conceptual Design Review (strongly recommended, but not required)
- 2) Preliminary Design Review
- 3) Final Design Review

The DRC may require additional information or drawings necessary to confirm compliance with The Covenants and the Design Guidelines.

8.2 CONCEPTUAL DESIGN REVIEW

Owners are strongly encouraged to meet with the DRC for Conceptual Design Review of the proposed project during the early design stages. This step in the process gives the owner an opportunity to see if the direction of the project is in keeping with the Design Guidelines and the community of Singletree and will help eliminate unnecessary expenditures on a design that will not be acceptable.

All submitted sketch drawings should be of a quality that is easy to read and understand. The DRC has the right to reject any proposal that it deems unreadable.

The following information is suggested:

A. **Licensed Survey**, at a scale of 1" = 10'-0", showing: all topography at two foot contours; the property lines; all required setbacks; all easements; all existing vegetation, rock outcroppings, and other site features; and existing utilities.

B. **Site Plan**, at a scale of 1" = 10'-0", showing: proposed and existing topography; all proposed improvements including building and access locations; property lines; setbacks; and easements. A calculation of estimated lot coverage should be indicated. In addition, please obtain and designate Eagle County Wildfire Hazard rating.

C. **Basic Floor Plans and Building Elevations**, at a minimum scale of 1/4" or 1/8" = 1'-0", or scaled to the Site Plan for the proposed design. In the case of Additions or Remodels, "As-Built" project drawings should be included. A calculation of estimated habitable area should be indicated.

D. **Conceptual Design Application Form** (Section 10 – Appendix A)

E. **Photos** relevant to the proposed project, including surrounding properties, existing structure elevations and details, etc.

F. **Architectural Consultant Review Fee** (Section 10 – Appendix B)

G. List of **Proposed New Materials**, and in the case of Additions/Remodels, indication of how proposed new materials relate to existing materials.

H. **Conceptual Design Review Checklist** (Section 9.1)

8.3 PRELIMINARY DESIGN REVIEW

Submittal for Preliminary Design Review is mandatory, and preliminary design approval must be obtained before a project will be allowed to continue through the approval process. All requests and/or documents must be submitted one week prior to any regularly scheduled meeting of the DRC. (You should verify with the Architectural Consultant to the DRC the dates of the meetings.) If the submittal is incomplete or the submittal is not on time, it will not be reviewed until the subsequent meeting.

All submitted plans must be of professional quality and be easy to read and understand. The DRC has the right to reject any proposal that it deems unreadable.

The following information is required. Please provide one set of all drawings:

A. **Licensed Survey**, at a scale of 1" = 10'-0", showing: all topography at two foot contours; the property lines; all required setbacks; all easements; all existing vegetation, rock outcroppings, and other site features; and existing utilities. Survey must be stamped by a licensed land surveyor.

B. **Site Plan**, at a scale of 1" = 10'-0", showing proposed and existing topography (such as natural site features and including all trees) as well as all improvements, including: the proposed building location with dimensions from property lines; property lines; setbacks; easements; and the line of proposed roof overhangs.

The Site Plan should also indicate proposed re-grading, the height and materials of retaining walls, the proposed location of fences, decks and patios, along with proposed walks, driveway, parking areas (including dimensions of each) and snow storage locations.

A designation as to the location of outdoor mechanical equipment (such as air conditioning compressors, etc.) as well as utility and meter locations is also required. The plan needs to demonstrate that no constructed elements occur in the setbacks.

The Site Plan also should designate: the proposed roof ridgeline height and/or top of parapet wall heights; finished floor elevations; existing and proposed grade elevations at all building corners; and a calculation of total lot coverage. In addition, please obtain and designate Eagle County Wildfire Hazard rating.

C. Floor Plans, at a minimum scale of $\frac{1}{4}'' = 1'-0''$, including: all exterior building dimensions; door and window openings with dimensions; designation of walls, partitions and stairways; decks, porches and balconies, with materials noted; mechanical rooms and crawl spaces indicated; location of heating/cooling systems; and utility and meter locations.

Floor Plans should also show the line of proposed roof overhangs and a calculation of habitable area.

For Additions and Remodels clearly indicate: a) existing walls to remain; b) existing walls to be removed; and c) new walls.

D. Exterior Elevations, at a minimum scale of $\frac{1}{4}'' = 1'-0''$, that are rendered to show steps in the building plane (shade and shadow); expression of proposed materials; and the relationship of elevations to the site.

The Exterior Elevations must include a view from each side of the proposed building and should include: door and window locations with dimensions, as necessary; roofing material and slope; siding material and type/color; stucco material and type/color; chimney design and the dimension above the roof; exterior mechanical terminations (flues/vents/exhausts); railings, including details and dimensions; skylight locations; and utility and meter locations. A general materials note should provide additional information deemed necessary to fully understand the proposed renderings.

The Exterior Elevations also need to designate: the actual building height along with the maximum allowable building height (Section 2.2); designation of proposed and existing grade; and finished floor elevations.

E. Roof Plan, shall include design of ridges and valleys for pitched roofs. Flat roof designs shall include the locations of roof drains, scuppers and indication of drainage strategy.

On Remodels or Additions, the roof plan shall include an indication of the method for integration of the new roof portions with the existing roof.

F. Building Sections, at a minimum scale of $\frac{1}{4}'' = 1'-0''$, at cross sections through the building at locations of primary massing.

G. Details, on selected elements are required at Preliminary Design Review including: windows and doors, head, jamb and sill; fascia and soffits; chimney cap with materials and dimensions; and deck details, including framing members, decking material and handrail detail. Complete details of all other elements particular to the design of this property are required at Final Design Review.

H. **Landscape Plan**, at a minimum scale of 1" = 10'-0", shall indicate: proposed building location, including dimension to setback lines; proposed roof overhangs; and the existing and proposed site contours.

The Landscape Plan shall also indicate: all intended landscape improvements, including: location of all plants and trees, sod and seeded areas; driveway; walks; terraces; and/or decks, with material indicated. The locations of rock outcroppings, boulders or retaining walls (including size/dimension), fences, utilities and meters, and all outdoor and landscaping lighting must also be designated.

A plant schedule is required. The schedule must include the quantity, common and botanical name, and size of each planting. Please note that all evergreen trees should be at least six to eight feet high, measured from the top of the root ball to the top of the tree and all deciduous trees must have a caliper of at least two and one-half inches. All shrubs must be a minimum of five-gallon containers.

A general description of erosion control techniques should also be included.

I. **Electrical Plans** shall indicate all exterior building and landscape lighting fixtures and include their respective specification sheets. (Section 3.13)

J. **Massing Model** (constructed at either a 1/8" or 1/10" = 1'-0" scale) or **3D computer model** (for New Construction) or **3D representation** (drawing) or **3D computer model** (for Additions or Remodels), showing the proposed building and site topography. (Massing Model can be submitted the day before the DRC meeting; 3D computer model to be included with all other Preliminary Design submission materials.)

K. **Photo Survey**, taken from the approximate center of the lot or the center of the proposed building. This must be mounted in such a manner that shows the surrounding area for the proposed structure, the views and view corridors, the surrounding neighbors, and any lot-specific issues. (Can be submitted the day before the DRC meeting.)

L. **Color Board** of exterior material samples and colors, including: wall materials and colors; roof materials and colors; door and window colors; exterior trim colors; and fireplace chimney material and colors. The samples are to be mounted on an 8-1/2" x 11" Color Board made of white or manila card stock. The manufacturer's color-code and number for each of the colors and finishes shall be listed on the Color Board. (Can be submitted the day before the DRC meeting.)

M. **Architectural Consultant Review Fee** is required the day of the DRC meeting and before the project will be reviewed. (Section 10 – Appendix B)

For Remodels/Additions using the Exterior Project Cost Estimate approach, a bid sheet (or equivalent) showing estimated total exterior project cost, is to be attached to the Preliminary Design Review Application.

N. **Preliminary Design Review Application** form (Section 10 – Appendix A)

O. **Duplex Owner Written Approval Letter** (Remodels/Additions for duplex properties only) (Section 10 – Appendix D)

P. Preliminary Design Review Checklist
(Section 9.2)

The Preliminary Design Review approval shall not be an approval for construction of any kind, and will be valid for a period of six months, after which it will expire.

8.4 FINAL DESIGN REVIEW

After you have received preliminary design approval from the DRC, and you have completed your **final** construction documents, you may submit for a Final Design Review. All plans submitted must be of professional quality, easy to read, and contain sufficient information and detail. They must contain all the information that the Eagle County Building Department requires in order to obtain a building permit, as well as any conditions imposed by the DRC at the conclusion of the Preliminary Design Review process.

As with the Preliminary Design Review, your submittal must be complete and received one week before the regularly scheduled meeting of the DRC, at the offices of the Architectural Consultant. If the submittal is incomplete or not on time, the submittal will not be reviewed. The DRC has the right to reject any submittal it deems has insufficient information about the construction of the proposed structure in order to make a final determination.

All of the information required at the time of Preliminary Design Review (Section 8.3) is to be re-submitted for the Final Design Review. Fundamentally, the Final Design Review requires additional details as described below, as well as responses or resolution to the questions/comments/concerns raised during the Preliminary Design Review process and the conditions to such approval, as documented in the minutes of the DRC.

Therefore, the following information is required for a complete submission. Please provide one set of all drawings:

A. **Licensed Survey** – Same as at Preliminary Design Review (Section 8.3)

B. **Site Plan** – Same as at Preliminary Design Review (Section 8.3), **plus:**

The Site Plan should also indicate the materials and specifications for all proposed: fences; decks; patios; walks; driveway; parking areas; and snow storage locations.

C. **Floor Plans** – Same as at Preliminary Design Review (Section 8.3), **plus:**

The Floor Plans must display the habitable area calculation, along with a summary table of total square footage.

D. **Exterior Elevations** – Same as at Preliminary Design Review (Section 8.3), **plus:**

The Exterior Elevations must include the material, type, style and color description, along with dimensions and details for each of the following: doors; windows; roof; siding; stucco; chimney; decks; railings; fascia; trim; entry door; garage doors; and skylights. A general materials note should provide additional information deemed necessary to fully understand the proposed renderings.

The roof plan should indicate the pitch of the roof and the drainage pattern for flat roofs. If a flat roof is proposed, the roof plan must indicate whether it will be ballasted or not, and the color of the proposed ballasting material.

E. **Roof Plan** – Same as at Preliminary Design Review (Section 8.3)

F. **Building Sections** – Same as at Preliminary Design Review (Section 8.3), **plus:**

A minimum of two (2) locations is required.

The Building Sections should indicate, at a minimum, the following information: foundation wall heights; exterior wall material and height; roof construction, material and slope; ridge heights; existing and proposed grades; and floor elevations.

G. **Details** – Same as at Preliminary Design Review (Section 8.3), **plus:**

Details of material, color and dimension on all exterior elements, including: windows; doors; fascia; soffits; gutters; chimney cap; decks; and handrails. Complete details of all other elements particular to the design of this property are also required. (e.g. solar panel attachment)

H. **Landscape Plan** – Same as at Preliminary Design Review (Section 8.3), **plus:**

The Landscape Plan requires a description of the proposed irrigation system.

The Landscape Plan needs to demonstrate that no constructed elements occur in the setbacks.

I. **Electrical Plans** – Same as at Preliminary Design Review (Section 8.3)

J. **Footing and Foundation Plan** shall indicate: the depth of all footings; top of wall heights for all foundation walls; and the dimensions and thicknesses of all walls.

K. **Construction Management Plan** shall indicate: the location of the green, plasticized, netted construction fencing; construction vehicle parking; material staging areas; temporary toilet location; snow storage; etc.

L. **Massing Model** (constructed at either a 1/8" or 1/10" = 1'-0" scale) or **3D computer model** (for New Construction) or **3D representation** (drawing) or **3D computer model** (for Additions or Remodels), showing the proposed building and site topography-Same as at Preliminary Design Review (Section 8.3), **except:**

Applicant should bring the model submitted for Preliminary Design Review once again to the Final Design Review meeting; it does not need to be submitted in advance.

M. **Photo Survey** – Same as at Preliminary Design Review (Section 8.3), **except:**

The Photo Survey is optional for Final Design Review, at the discretion of the DRC.

N. **Color Board** – Same as at Preliminary Design Review (Section 8.3), **except:**

The Color Board should be updated for any changes since the Preliminary Design Review approval. This Color Board will be considered the final approved colors and materials.

O. **Construction Schedule**, which includes anticipated project start and completion dates, as well as landscape installation timing.

P. **Architectural Consultant Review Fee** (Site Observation Fee component) (Section 10 – Appendix B)

Q. **Final Design Review Application** form (Section 10 – Appendix A)

R. **Compliance Acknowledgement** form (Section 10 – Appendix C)

S. **Duplex Owner Written Approval Letter** (Remodels/Additions for duplex properties only; notarized) (Section 10 - Appendix D)

T. **Design and Construction Compliance Fee plus Landscape Deposit** (Section 10 – Appendix B)

U. **Final Design Review Checklist** (Section 9.3)

The DRC's review and approval is limited to 'design' appropriateness only.

The final design approval by the Design Review Committee does not reflect any requirements or approvals by the Eagle County Building Department. The DRC will not consider, and assumes no responsibility for, the structural capacity, life safety, or building code compliance of the proposed improvement.

Upon final approval by the DRC, the applicant shall submit three (3) complete sets of all drawings, which shall be signed and stamped by the DRC's Architectural Consultant.

Final approval is valid for a period of 12 months, after which it will expire. An additional fee may be charged upon review of previously approved plans.

Subsequent modifications of any type to the approved plans and specifications shall be submitted and approved by the DRC prior to commencing any such changes.

8.5 INSPECTION

The DRC or its agents may at any reasonable time prior to the issuance of a Certificate of Occupancy or a Temporary Certificate of Occupancy, or during any repair or reconstruction, enter upon any property subject to The Covenants, as amended, for the purpose of determining compliance with these Design Guidelines and any approved plans. Neither the DRC, SPOA, the Board of County Commissioners for Eagle County, nor any of their members or agents shall be liable to any person for actions taken unless it be shown that such entity or person acted with malice or wrongful intent.

8.6 REVIEW OF ADDITIONS, REMODELS, LANDSCAPE REVISIONS, AND MINOR ALTERATIONS & IMPROVEMENTS

All proposed alterations (including additions, remodels, landscape revisions, and minor alterations) of completed projects, or proposed changes of a project under construction, must be reviewed and approved by the Design Review Committee (DRC) before such action is taken. Any change done without approval will be in violation of the protective covenants and subject to enforcement action by SPOA.

In order to schedule a review of any alteration, a complete submittal must be made to the DRC outlining the intended addition, alteration or change. All drawings must be submitted one week before the scheduled appearance at the next regularly scheduled DRC meeting. The drawings (architectural and/or landscape) must be of professional quality and provide sufficient information for the DRC to make an informed decision.

DRC approval for all additions and remodels require:

1. Completion of an application.
2. Submission of an Improvement Location Certificate (ILC) for the existing structure, with indication that the addition, as proposed, remains in compliance with setback requirements (see Section 2.3)
3. Indication on the drawings of the existing Site Coverage and Habitable Area (see Section 2.1), as well as the proposed Site Coverage and Habitable Area, demonstrating that they remain in compliance.

4. If applicable, indication on the drawings of the existing Building Height (see Section 2.2), as well as the proposed Building Height, demonstrating that it remains in compliance.
5. Submission of photographs of relevant portions of the structure or surrounding areas.
6. Changes to the color or texture of exterior walls or trim details, including front doors, and other exterior features of the building. The owner must submit color and material samples (paint colors, window cladding, cut sheets, etc.)
7. All exterior materials (colors, window clad colors, etc.) are to match the existing exterior materials, except as approved by the DRC.
8. If landscaping is disrupted by construction activities, landscaping must be replaced or replanted, and the plans/drawings must designate such details.
9. Remodels/Additions are subject to the correction of non-conforming conditions. (See Section 1.4.7)
10. Payment of the Architectural Consultant Fee and Review/Compliance Fees. (See Section 10 - Appendix B for the current fee schedule).

At the discretion of the DRC, depending on the particular circumstances of an individual project, the DRC may require that an additional ILC be obtained at the completion of framing to verify height and/or setback restrictions. The applicant will be advised of this requirement at Final Approval, if required.

DUPLEX REMODELS

A change in the exterior, in any manner, including colors, materials or square footage of any duplex, is likely governed by the Party Wall Agreement for the property. All matters covered by the Party Wall Agreement or arising out of the duplex ownership, shall be resolved by the respective parties in writing prior to DRC submittal.

The applicant shall include the signed Duplex Property Owner Written Approval Letter (see Section 10 - Appendix D) along with a complete application for review and approval. This letter confirms that the owner of the adjoining duplex approves and agrees with the applicant's proposal.

The Duplex Property Owner Written Approval Letter must be completed and signed before the DRC will consider the application. Upon Final Approval by the DRC, the letter must be signed and notarized before being stamped by the Architectural Consultant for submission to Eagle County.

LANDSCAPE REVISIONS, MINOR ALTERATIONS & IMPROVEMENTS

DRC approval for all landscape revisions and minor alterations require:

1. Completion of an application.
2. Submission of photographs of relevant portions of the structure or surrounding areas.
3. Submission of color and material samples (paint colors, window cladding, fence and deck materials, etc.) All exterior materials are to match existing exterior materials, except as approved by the DRC.
4. Submission of architectural drawings, landscape plan, site plan or other relevant materials necessary to fully understand the scope and nature of the request.
5. If a duplex, submission of the Duplex Property Owner Written Approval Letter (see Section 10 – Appendix D) signed by the adjoining duplex owner agreeing to such minor alterations, with an updated signature and notarization upon Final Approval.
6. No fee is required, except as described in Section 10 – Appendix B, which may be assessed at the discretion of the DRC for incomplete applications or unreasonable time and effort on the part of the Architectural Consultant.

TEMPORARY STRUCTURES

Temporary structures are generally not permitted and are discouraged within Singletree. Requests for permission to erect a temporary structure are subject to evaluation on a case-by-case basis by the DRC. It is strongly recommended that a homeowner who is contemplating a temporary structure meets with the DRC to discuss it before investing time or effort in the proposed project.

8.7 FEES AND DEPOSITS

Fees and Deposits differ based on the nature of the project:

1. New Construction; or
 2. Additions & Remodels; or
 3. Minor Alterations & Improvements
- Please refer to Section 10 – Appendix B for the current schedule of Review/Compliance Fees and Deposits.

Following is a description of the various fees and deposits, including designation of the payee, the timing of payment and the refundable components of each.

The Architectural Consultant Review Fees consist of three (3) components:

1. Conceptual Review Fee¹, payable at the submission of the conceptual review package;
2. Preliminary Review Fee¹, payable at the submission of the preliminary review package, which is based on total square footage; and
3. Site Observation Fee, payable at the time the DRC approves and stamps the plans.

These fees are payable directly to the Architectural Consultant and are non-refundable. Refer to Section 10 – Appendix B for the current schedule of Review/Compliance Fees and Deposits.

The Design and Construction Site Compliance Fee consists of three (3) components and is payable at the time the DRC approves and stamps the plans:

1. Foundation compliance – amount will be refunded when DRC receives Engineer's Certification that foundation walls and garage slabs are at proper elevation and location (commonly known as an ILC) and the site is in compliance with the approved Construction Staging Plan (including Project Sign) and in compliance with DRC Guidelines;
2. Structure completion – amount will be refunded when completed structure passes design compliance inspection; and
3. Administrative fee – amount will be retained by SPOA to cover expenses of DRC administration.

These fees are payable directly to SPOA. Refer to Section 10 – Appendix B for the current schedule of Review/Compliance Fees and Deposits.

At the discretion of the DRC, depending on the particular circumstances of an individual project, the DRC may require that an additional Improvement Location Certificate (ILC) be obtained at the completion of framing to verify height and/or setback restrictions. The applicant will be advised of this requirement at Final Approval, if required.

The Landscape Deposit consists of two (2) components and is payable at the time the DRC approves and stamps the plans:

1. Installation completion – amount will be refunded when the landscape plan has been properly installed and inspected by the DRC; and
2. Winter survival – amount will be refunded when the landscaping has survived one winter and inspected by the DRC.

¹ If a conceptual review is not conducted, the preliminary review fee will be increased by \$250.00.

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These deposits are payable directly to SPOA. Refer to Section 10 – Appendix B for the current schedule of Review/Compliance Fees and Deposits.

Landscaping installations must be completed with one (1) growing season after completion of construction. For purposes of this paragraph, “Completion of Construction” shall be defined as the date a Temporary Certificate of Occupancy (TCO) or Certificate of Occupancy (CO) is issued for the project by the Eagle County Community Development office. If the landscaping is not completed within the time frame set above, the deposit shall be forfeited.

The Design and Construction Compliance Fee plus the Landscape Deposit plus the Site Observation Fee must be paid once final approval has been granted by the DRC. Plans will not be stamped for approval, and as such, be available for submittal to Eagle County for plan review or building permits until full payment of the fee and deposit requirements.

In the case where Remodels/Additions are occurring on both sides of a duplex property, the Design and Construction Compliance Fees will be held by SPOA until the approved work for both units is completed. The completion of work on one-half of the duplex, while work remains incomplete or unfinished on the other unit, will not entitle the owner of the unit where work is completed to their share of the refundable portion of the Design and Construction Compliance Fees.

The refundable portion of the Design and Construction Compliance Fee will be forfeited if there is not a written request for the refund of same within one (1) year from the date of the TCO or CO , which ever occurs first.

Fees and Deposits are subject to change. Please refer to Section 10 – Appendix B for the current schedule of Review/Compliance Fees and Deposits. In addition, the DRC can use its discretionary authority to waive or change such schedule of Fees and Deposits from time-to-time, the amount and reason for which will be documented in the DRC meeting minutes.

Section 9. Design Review Checklists

9.1 SUGGESTED CONCEPTUAL DESIGN REVIEW CHECKLIST FOR NEW CONSTRUCTION, ADDITIONS AND REMODELS

Licensed Survey

- _____ Scale: 1" = 10'-0"
- _____ 2-foot contours
- _____ Property lines
- _____ Setbacks and easements
- _____ Existing natural site features
- _____ Existing utilities

Site Plan

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1" = 10'-0"
- _____ North arrow
- _____ Proposed building location
- _____ Property lines
- _____ Setbacks and easements
- _____ Lot coverage calculation
- _____ Eagle County Wildfire Hazard rating

Floor Plans and Building Elevations

- _____ Scale: 1/4" or 1/8" = 1'-0" or scaled to Site Plan
- _____ Basic floor plans of proposed design
- _____ Basic elevations of proposed design
- _____ Existing or "As-Built" project drawings (for Additions/Remodels)
- _____ Habitable area calculation

Non-drawing Items

- _____ Conceptual Design Review Application form (Section 10 - Appendix A)
- _____ Photos relevant to the proposed project including adjacent homes and views
- _____ Architectural Consultant Review Fee (Section 10 – Appendix B)
- _____ List of proposed new materials (for Additions/ Remodels, indicate how proposed new materials relate to existing)

**9.2 PRELIMINARY DESIGN REVIEW CHECKLIST FOR NEW CONSTRUCTION,
ADDITIONS AND REMODELS**

Licensed Survey

- _____ Scale: 1" = 10'-0"
- _____ 2-foot contours
- _____ Property lines
- _____ Setbacks and easements
- _____ Existing natural site features
- _____ Existing utilities

Site Plan

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1" = 10'-0"
- _____ North arrow
- _____ Natural site topography
- _____ Existing natural site features, including all trees
- _____ Proposed building location with dimensions from property lines
- _____ Property lines
- _____ Setbacks and easements
- _____ Line of proposed roof overhangs
- _____ Proposed re-grading, height and materials of retaining walls
- _____ Proposed location for fences, decks and patios
- _____ Proposed walks, driveway, and parking areas and dimensions of each
- _____ Proposed location for snow storage
- _____ Outdoor mechanical equipment locations (e.g. a/c compressors)
- _____ Utility and meter locations
- _____ Confirm that no constructed elements occur in setbacks
- _____ Proposed roof ridgeline heights and/or top of parapet wall heights
- _____ Finished floor elevations
- _____ Existing and proposed grade elevations at all building corners
- _____ Lot coverage calculations
- _____ Eagle County Wildfire Hazard rating

Floor Plans

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1/4" = 1'-0"
- _____ North arrow
- _____ All exterior building dimensions
- _____ Door and window openings and dimensions
- _____ Walls, partitions, and stairways
- _____ Decks, porches, and balconies with materials noted
- _____ Mechanical rooms and crawl spaces noted

(Floor Plans cont.)

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 9 - DESIGN REVIEW CHECKLISTS

(Floor Plans cont.)

- _____ Location of heating/cooling systems
- _____ Utility and meter locations
- _____ Line of proposed roof overhangs
- _____ Habitable area calculation
- _____ For Additions and Remodels clearly indicate: a) existing walls to remain; b) existing walls to be removed; and c) new walls

Exterior Elevations

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1/4" = 1'-0", minimum size
- _____ Elevation of each exterior view
- _____ Door and window locations and dimensions as necessary
- _____ Roof material and slope
- _____ Siding material and type/color
- _____ Stucco material and type/color
- _____ Chimney – dimension height above roof
- _____ Exterior mechanical terminations (flues/vents/exhausts)
- _____ Railings – detail and dimension
- _____ Skylight locations
- _____ Utility and meter locations
- _____ General material notes
- _____ Actual building height and maximum allowable building height line (Section 2.2)
- _____ Proposed and existing grade
- _____ Finish floor elevations

Roof Plan

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1/4" = 1'-0", minimum size
- _____ Plan of roof to include design of ridges and valleys for pitched roofs. Flat roofs to include locations of roof drains, scuppers and indication of drainage strategy. On Remodels and Additions, clearly indicate method of integrating new roof with existing roof

Building Sections

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1/4" = 1'-0", minimum size
- _____ Cross sections through building at locations of primary massing

Details

- _____ Window and door: head, jamb and sill
- _____ Fascia and soffits
- _____ Chimney cap, materials and dimensions
- _____ Deck details including framing members, decking material and handrail detail

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 9 - DESIGN REVIEW CHECKLISTS

Landscape Plan

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1" = 10'-0"
- _____ North arrow
- _____ Building location – dimension offset to setback lines
- _____ Proposed roof overhangs
- _____ Existing and proposed contours
- _____ Location of all plants, trees, sod, seeded areas, etc
- _____ Driveway, walks, terraces, and decks with materials listed
- _____ Location and dimension of any boulder and/or retaining walls
- _____ Location of fences, utilities and meters and a/c enclosures, etc.
- _____ Plant schedule with quantity, common and botanical name, and size. **(All evergreen trees should be at least six to eight feet high, measured from the top of the root ball to the top of the tree. All deciduous trees must have a caliper of at least two and one-half(2-1/2") inches. All shrubs must be a minimum of five-gallon containers.)**
- _____ Description of erosion control techniques

Electrical Plans

- _____ All exterior building and landscape light fixtures and their respective specification sheets (Section 3.13)

Non-drawing Items

- _____ Massing model or 3D computer model for new construction and additions/remodels showing building and site topography
- _____ Photo survey showing views and building location
- _____ Color board on 8 1/2" x 11" card stock showing all exterior materials and colors
- _____ Architectural Consultant Review Fee (Section 10 – Appendix B) For Remodels/ Additions using the Exterior Project Cost Estimate approach, a bid sheet (or equivalent) showing estimated total exterior project cost
- _____ Preliminary Design Review Application form (Section 10 - Appendix A)
- _____ Duplex Owner Written Approval Letter (duplex properties only; Section 10 - Appendix D)

**9.3 FINAL DESIGN REVIEW CHECKLIST FOR NEW CONSTRUCTION, ADDITIONS
AND REMODELS**

Licensed Survey

- _____ Scale: 1" = 10'-0"
- _____ 2-foot contours
- _____ Property lines
- _____ Setbacks and easements
- _____ Existing natural site features
- _____ Existing utilities

Site Plan

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1" = 10'-0"
- _____ North arrow
- _____ Natural site topography
- _____ Existing natural site features, including all trees
- _____ Proposed building location with dimensions from property lines
- _____ Property lines
- _____ Setbacks and easements
- _____ Line of proposed roof overhangs
- _____ Proposed re-grading, height and materials of retaining walls
- _____ Proposed locations and materials for fences, decks and patios
- _____ Proposed dimensions and materials for walks, driveway and parking areas
- _____ Proposed location for snow storage
- _____ Outdoor mechanical equipment locations (e.g. a/c compressors)
- _____ Utilities and meter locations
- _____ Confirm that no constructed elements occur in setbacks
- _____ Proposed roof ridge height and/or top of parapet wall heights
- _____ Finished floor elevations
- _____ Existing and proposed grade elevations at all building corners
- _____ Lot coverage calculations
- _____ Eagle County Wildfire Hazard rating

Floor Plans

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1/4" = 1'-0"
- _____ North arrow
- _____ All exterior building dimensions
- _____ Door and window openings and dimensions
- _____ Walls, partitions, and stairways
- _____ Decks, porches, and balconies with materials noted and dimensioned
- _____ Mechanical rooms and crawl spaces noted
- _____ Location of heating/cooling systems

(Floor Plans cont.)

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 9 - DESIGN REVIEW CHECKLISTS

(Floor Plans cont.)

- _____ For Additions and Remodels clearly indicate: a) existing walls to remain; b) existing walls to be removed; and c) new walls
- _____ Utilities and meter locations
- _____ Line of proposed roof overhangs
- _____ Habitable area calculation and summary table of total square footage

Exterior Elevations

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1/4" = 1'-0", minimum size
- _____ Elevation of each exterior view
- _____ Door and window locations, material, color and dimensions as necessary
- _____ Roof material and slope
- _____ Indicate roof pitch on roof plans and drainage pattern on flat roofs
- _____ Flat roof plan must include whether ballasted and if not, color of proposed ballasting material
- _____ Siding material and type/color
- _____ Stucco material and type/color
- _____ Chimney material and dimension height above roof
- _____ Exterior mechanical terminations (flues/vents/exhausts)
- _____ Deck materials
- _____ Railing material, type/color, and dimensions
- _____ Fascia and trim material, type/color
- _____ Final design of entry and garage doors
- _____ Skylight type/color
- _____ Utilities and meter locations
- _____ All other materials, finishes, and color, materials and color
- _____ Actual building height and maximum allowable building height line (Section 2.2)
- _____ Proposed and existing grade
- _____ Finish floor elevations

Roof Plan

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1/4" = 1'-0", minimum size
- _____ Plan of roof to include design of ridges and valleys for pitched roofs. Flat roofs to include locations of roof drains, scuppers and indication of drainage strategy. On Remodels and Additions, clearly indicate method of integrating new roof with existing roof

Building Sections

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1/4" = 1'-0", minimum size
- _____ Cross sections through building at locations of primary massing-minimum of 2

(Building Sections cont.)

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 9 - DESIGN REVIEW CHECKLISTS

(Building Sections cont.)

- _____ Foundation wall heights
- _____ Exterior wall material and height
- _____ Roof construction, material, slope
- _____ Ridge heights
- _____ Existing and proposed grades
- _____ Floor elevations

Details

- _____ Window and door: head, jamb and sill
- _____ Fascia, gutters and soffits, materials and dimensions
- _____ Chimney cap, materials and dimensions
- _____ Deck details including framing members, decking material and handrail detail
- _____ Other trim or details particular to the project (e.g. solar panel attachment)

Landscape Plan

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Scale: 1" = 10'-0"
- _____ North arrow
- _____ Building location – dimension offset to setback lines
- _____ Proposed roof overhangs
- _____ Existing and proposed contours
- _____ Location of all plants, trees, sod, seeded areas, etc.
- _____ Driveway, walks, terraces, and decks with materials listed
- _____ Location and details of fences, utilities and meter locations and a/c enclosures, etc.
- _____ Location and dimension of any boulder and/or retaining walls
- _____ Plant schedule with quantity, common and botanical name, and size. **(All evergreen trees should be at least six to eight feet high, measured from the top of the root ball to the top of the tree. All deciduous trees must have a caliper of at least two and one-half (2-1/2") inches. All shrubs must be a minimum of five-gallon containers.)**
- _____ Description of erosion control techniques
- _____ Description of proposed irrigation system
- _____ Confirm that no constructed elements occur in setbacks

Electrical Plans

- _____ All exterior building and landscape light fixtures and their respective specification sheets (Section 3.13)

Footing and Foundation Plan

- _____ Depth of all footings
- _____ Top of wall heights for all foundation walls
- _____ Dimensions and thicknesses of walls

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 9 - DESIGN REVIEW CHECKLISTS

Construction Management Plan

- _____ Title Block, including Lot/Block/Filing, name of project, owner, date
- _____ Location of green netted construction fencing, construction vehicle parking, material staging areas, temporary toilet location, snow storage, etc.

Non-drawing Items

- _____ Massing model or 3D computer model for new construction and additions/remodels showing building and site topography
- _____ Photo survey showing views and building location
- _____ Color board on 8 1/2" x 11" card stock showing all exterior materials and colors
- _____ Construction Schedule
- _____ Architectural Consultant Review Fee—Site Observation Fee only (Section 10 – Appendix B)
- _____ Final Design Review Application form (Section 10 – Appendix A)
- _____ Compliance Acknowledgment form (Section 10 – Appendix C)
- _____ Duplex Owner Written Approval Letter (duplex properties only; Section 10 – Appendix D)
- _____ Design and Construction Site Compliance Fee and Landscape Deposit (Section 10 – Appendix B)

Following Final Design Review approval, the applicant shall provide the DRC with (3) full-size plan sets (Final Drawings), which have been revised to address the conditions of Final Design Review approval as reflected in the DRC Minutes. These sets must include final architectural and structural drawings. When the DRC receives the: Final Drawings; Final Design Review Application; associated sign-off forms; and payment of the Design and Construction Site Compliance Fee and Landscape Deposit, the DRC will provide the applicant with (2) sets of stamped-approved drawing sets which may be submitted to Eagle County for a building permit. The third stamped set of Final Drawings will be retained by the DRC.

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 10 - APPENDIX A

Singletree Conceptual Design Review Application

Project Name: _____ Date Submitted: _____

Lot: _____ Block: _____ Filing: _____

Project Representative: _____ Phone#: _____

Physical Address: _____

Duplex: Yes _____ No _____

Description of Project*: _____

ARCHITECTURAL CONSULTANT REVIEW FEE: \$ _____

Owner's Signature: _____

Owner's Phone #: _____

Owner's email address: _____

* Include all information relative to the scope of the project, including whether it is new construction, an addition or a remodel. Please indicate any other information that will facilitate the review of this submission, including, if appropriate, the documents/drawings listed on the Conceptual Design Review Checklist – Section 10 – Appendix A.

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 10 - APPENDIX A

Singletree Preliminary Design Review Application

Project Name: _____ Date Submitted: _____

Lot: _____ Block: _____ Filing: _____

Project Representative: _____ Phone#: _____
Physical Address: _____ Owner's email address: _____

FLOOR PLANS: _____ LANDSCAPE PLAN: _____ BUILDING ELEVS: _____
MODEL: _____ SITE PLAN: _____ LICENSED SURVEY: _____
PHOTO SURVEY: _____ COLOR BOARD: _____

MATERIALS:

COLORS:

ROOF: _____	_____
STUCCO: _____	_____
SIDING: _____	_____
TRIM: _____	_____
STONE: _____	_____

FOR OFFICE USE ONLY

Lot size: _____ sq.ft.	Allowable sq.ft.: _____
Building size: _____ sq.ft.	%: _____
Building height: _____	Setbacks: _____
# Units: _____	Site Coverage: _____
Remodels/Additions—Exterior Project Cost Estimate*	_____

ARCHITECTURAL CONSULTANT REVIEW FEE*: \$ _____

General Comments:

* For Remodels/Additions using the Exterior Project Cost Estimate approach, a bid sheet (or equivalent) showing estimated total exterior project cost must be attached to this application.

Applicant: I (we) have been advised that we shall be required to be familiar with the DRC Guidelines and that this proposed project shall be constructed in compliance with said Guidelines and existing Covenants.

OWNER(S) SIGNATURE: _____

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 10 - APPENDIX A

Singletree Final Design Review Application

Project Name: _____ Date Submitted: _____
Lot: _____ Block: _____ Filing: _____
Project Representative: _____ Phone#: _____
Physical Address: _____ email address: _____

FLOOR PLANS: _____ LANDSCAPE PLAN: _____
BUILDING ELEVATIONS: _____ MODEL: _____
SITE PLAN: _____ LICENSED SURVEY: _____
PHOTO SURVEY: _____ COLOR BOARD: _____
BUILDING SECTIONS: _____ DETAILS: _____
FOUNDATION PLAN: _____ CONSTRUCTION SCHEDULE: _____

COMPLIANCE ACKNOWLEDGEMENT LETTER: _____
EXTERIOR ELECTRICAL PLAN SPECIFICATION SHEETS: _____
DUPLEX OWNER WRITTEN APPROVAL LETTER: _____

MATERIALS:

ROOF: _____
STUCCO: _____
SIDING: _____
TRIM: _____
STONE: _____

COLORS:

FOR OFFICE USE ONLY

Lot size: _____ sq.ft. Allowable sq.ft.: _____
Building size: _____ sq.ft. %: _____
Building height: _____ Setbacks: _____
Units: _____ Site Coverage: _____

DESIGN AND CONSTRUCTION SITE COMPLIANCE FEE: \$ _____
LANDSCAPE DEPOSIT: \$ _____
SITE OBSERVATION FEE: \$ _____

General Comments:

Dates:

Stamped Final Approval: _____ DRC Final Inspection: _____ Landscape Inspection: _____

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 10 - APPENDIX B

**Singletree Design Review Committee
Review/Compliance Fees and Deposits**

New Construction:

1. Architectural Consultant Review Fees¹: (*Non-refundable*)

a. Conceptual Review Fee	\$250	
b. Preliminary Review Fee (based on total square footage):		
0-3500 (minimum fee)	\$750	
3501-5000	\$1,350	
5001+	\$1,750	
c. Site observation fee during construction	\$250	
d. Total payable to Architectural Consultant:		
0-3500 (minimum fee)		\$1,250 or
3501-5000		\$1,850 or
5001+		\$2,250

PLUS

2. Design and Construction Site Compliance Fee: (*Partially refundable*)

Total fee per building, payable to SPOA when DRC approves and stamps plans:		\$12,000
a. To be <i>refunded</i> when DRC receives Engineer's Certification that foundation walls and garage slabs are at proper elevation and location and project sign present and in compliance with DRC Guidelines	\$1,500	
b. To be <i>refunded</i> when completed structure passes design compliance inspection	9,500	
c. Administrative fee retained by SPOA (covers expenses of DRC administration)	1,000	
d. Total fee per building	\$12,000	
e. <i>Refundable</i> portion of Design and Construction Site Compliance Fee upon satisfactory project completion:	\$11,000	

PLUS

3. Landscape Deposit: (*Fully refundable*)

Total deposit per building, payable to SPOA when DRC approves and stamps plans:		\$2,500
a. To be <i>refunded</i> when the landscape plan has been properly installed and inspected by the DRC ²	\$1,500	
b. To be <i>refunded</i> when the landscaping has survived one winter and inspected by the DRC ²	1,000	
c. Total deposit per building	\$2,500	

SUMMARY:

Total fee to SPOA when DRC approves and stamps plans:	\$14,500
Total <i>refundable</i> portion of all fees and deposits paid to SPOA:	\$13,500
Total fee to Architectural Consultant and deposits: (varies based on square footage) – <i>All Non-refundable</i>	\$1,250 - \$2,250

1. Checks to be made out to Architectural Consultant; three checks will be required: Conceptual Review, Preliminary Review & Final Approval.
2. Installation must be within one growing season of construction completion and the applicant must request each of the inspections in writing.

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 10 - APPENDIX B

Additions & Remodels (including extensions, enclosures, basements, etc.):

1. **Architectural Consultant Review Fees**: (*Non-refundable*) will be the **GREATER** of a. or b. below:

a. Based on **Additional Square Footage**² proposed on a Remodel/Addition project, as described in the following schedule:

Additional Square Footage²	Review Fee \$	Site Observation Fee \$	Total Fee \$	
0-500	550	250	750	min.
501-750	750	250	1,100	
751-1,000	1,000	250	1,250	
1,001-1,250	1,250	250	1,500	
1,251-1,500	1,500	250	1,750	
1,501+	1,750	250	2,000	max.

OR

b. Based on a percentage of the **Exterior Project Cost Estimate** proposed on a Remodel/Addition project, based on the following schedule:

Fee percentage will be sliding, based on the total exterior cost estimate, with a minimum review fee of \$300 and a maximum review fee of \$1,700.

<u>Exterior Cost Estimate</u>	<u>Fee Percentage on that Tier</u>
1st \$100,000	0.50%
2 nd \$100,000	0.45%
3 rd \$100,000	0.40%
4 th \$100,000	0.35%
Over \$400,000	0.0% - max. fee reached

The applicant will be required to attach a copy of the bid sheet (or equivalent) to the Preliminary Design Review Application and indicate the Exterior Total Cost Estimate on such Application with a signature indicating that it is a fair and reasonable estimate.

Since the fee is based on a cost estimate, the calculation of the fee will be based on the following ranges, with increments of \$25,000. It will be the responsibility of the Architectural Consultant to challenge the reasonableness of the Total Exterior Cost Estimate reported by the Applicant, based on their own professional judgment and knowledge of current costs.

1. Checks to be made out to Architectural Consultant; three checks will be required: Conceptual Review, Preliminary Review & Final Approval.
2. Total square footage of the project; not habitable square footage, shall be used for this purpose.

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 10 - APPENDIX B

Total Exterior Cost Estimate \$	Review Fee \$	Site Observation Fee \$	Total Fee \$	
0-25,000	125	250	550	min.
25,001-50,000	250	250	550	min.
50,001-75,000	375	250	625	
75,001-100,000	500	250	750	
100,001-125,000	613	250	863	
125,001-150,000	725	250	975	
150,001-175,000	838	250	1,088	
175,001-200,000	950	250	1,200	
200,001-225,000	1,050	250	1,300	
225,001-250,000	1,150	250	1,400	
250,001-275,000	1,250	250	1,500	
275,001-300,000	1,350	250	1,600	
300,001-325,000	1,438	250	1,688	
325,001-350,000	1,525	250	1,775	
350,001-375,000	1,613	250	1,863	
375,001-400,000	1,700	250	1,950	
400,001+	1,700	250	1,950	max.

The Architectural Consultant may consider an adjustment to the above Review Fee schedule in selected circumstances, particularly when a project in it's entirety includes certain significant elements that, had they been submitted as a separate project, would have been deemed to fall under the category of Minor Alterations as described in Section 10 – Appendix B. Minor Alterations include: changes in exterior colors; changes in roof materials; window replacements or minor window revisions; minor landscaping revisions; fences; decks; hot tubs, etc., and as such, would not have had an Architectural Consultant Review Fee assessed. Likewise, remediation projects may have the Review Fee waived if fundamentally the exterior of the structure is visually unchanged. However, the Site Observation Fee will still be payable, as the inspections of the project as a whole will be required to assure compliance with the approved Final Plans.

c. Total payable to Architectural Consultant: **Minimum of \$550 up to \$2,000**

PLUS

2. Design and Construction Site Compliance Fee: (Partially refundable)

Total fee per building, payable to SPOA when DRC approves and stamps plans:	\$5,000
a. To be <i>refunded</i> when completed structure passes design compliance inspection	\$4,500 ¹
b. Administrative fee retained by SPOA (covers expenses of DRC administration)	<u>500</u>
c. Total fee per building	\$5,000
d. <i>Refundable</i> portion of Design and Construction Site Compliance Fee upon satisfactory project completion:	\$4,500

1. Fee amount is subject to adjustment at the discretion of the DRC depending on the scope and nature of the project. Such fee shall be disclosed to the owner or their representative at the time of final approval.

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 10 - APPENDIX B

PLUS

3. Landscape Deposit: (*Fully refundable, if fee required*)

A landscape installation and growing season deposit will be determined on a discretionary basis by the DRC at the time of final approval. The DRC will consider the scope of the project, the adequacy of the existing landscape material and the extent of site disruption. If required, the fees will not exceed:

- | | |
|--|------------|
| a. To be <i>refunded</i> when the landscape plan has been properly installed and inspected by the DRC ² | \$1,000 |
| b. To be <i>refunded</i> when the landscaping has survived one winter and inspected by the DRC ¹ | <u>500</u> |
| c. Total deposit per building | \$1,500 |

SUMMARY:

Total fee to SPOA when DRC approves and stamps plans:	
With Landscape Deposit requirement	\$6,500
Without Landscape Deposit	\$5,000
Total <i>refundable</i> portion of all fees paid to SPOA:	
With Landscape Deposit requirement	\$6,000
Without Landscape Deposit	\$4,500
Total fee to Architectural Consultant: (<i>All Non-refundable</i>) Min. of \$550 up to \$2,000	

Minor Alterations: (Including changes in exterior colors, changes in roof materials, window replacement or minor window revisions, minor landscape revisions, fences, decks, hot tubs, etc.):

In general, no fees will be charged by the DRC for maintenance and construction of the items listed above under the category of minor alterations, including remediation work.

However, at the discretion of the DRC, depending on the scope and nature of the project, a *fully refundable* design and construction site fee can be assessed. Such fee shall be disclosed to the owner or their representative at the time of final approval and will be refunded upon successful completion of the project.

(continued next page)

1. Installation must be within one growing season of construction completion and the applicant must request each of the inspections in writing.

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 10 - APPENDIX B

Minor Alterations (continued):

DRC approval for all minor alterations requires:

- a. Completion of an application, and
- b. Submission of photographs of relevant portions of the structure or surrounding areas, and
- c. Submission of color and material samples (paint colors, window cladding, fence and deck materials, etc.), and
- d. Submission of architectural drawings, site plan or other relevant materials necessary to fully understand the scope and nature of the request, and
- e. If a duplex, submission of a signed and notarized authorization by the adjoining duplex owner for such minor alterations.

The submission of a complete package of documents and material specifications necessary for the DRC to consider the application for minor alterations will be beneficial in assuring the timely review and approval of such application. If the application is incomplete, or requires unreasonable time and effort on the part of the Architectural Consultant, it will be subject to the required payment of a non-refundable Architectural Consultant Review fee¹, as determined by the DRC.

All minor alterations need to be approved before the changes are implemented or constructed. Failure to obtain approval is subject to the enforcement of the Covenants, including assessment of fines.

Compliance Acknowledgment

I (We) have read and thoroughly understand both the Singletree Design Guidelines and the existing Amended and Restated Declaration of Covenants, Conditions and Restrictions, and hereby agree to abide by all provisions of each of these documents. I (We) understand that any violations of any provisions of these documents may result in the forfeiture of all fees or deposits set out in Section 10-Appendix B and that I (We) may be subject to fines in addition to the possible forfeitures referenced above. Additionally, I (We) understand that, for as long as violations are unresolved, the DRC or its agents may refuse to perform inspections.

Owner/Developer – Signature

Contractor/Builder – Signature

Owner/Developer – Print name

Contractor/Builder – Print name

Date

Date

SINGLETREE DESIGN REVIEW GUIDELINES
SECTION 10 - APPENDIX D

Duplex Owner Written Approval Letter

I, (print name) _____, a joint owner of property located at

(address/legal description of lot, block and filing)

provide this letter as written approval of the plans dated _____

which have been submitted to the Singletree Design Review Committee for the proposed improvements to be completed at the address noted above.

I understand that the proposed improvements include:

Preliminary Design Review

Owner – Signature

Date

Telephone number

Final Design Review

Owner – Signature

Date

Notary

Date and Stamp